

PROPOSED NEW HOUSE  
FOR MCKENZIE

53 MCCROSSIN AVENUE, BIRRONG NSW 2143

CONSTRUCTION DRAWING SCHEDULE		
No	DRAWING NAME	ISSUE
CD01	COVER SHEET	D
CD02	GENERAL NOTES	D
CD03	SITE ANALYSIS PLAN/EXISTING PLAN	D
CD04	DEMOLITION PLAN - PROPOSED	D
CD05	AREA PLAN - PROPOSED	D
CD06	SITE PLAN - PROPOSED	D
CD07	LANDSCAPE PLAN - PROPOSED	D
CD08	FLOOR PLAN - PROPOSED	D
CD09	SLAB SETOUT PLAN	D
CD10	ROOF PLAN	D
CD11	SERVICES PLAN	D
CD12	ELECTRICAL PLAN	D
CD13	ELEVATIONS - PROPOSED	D
CD14	ELEVATIONS - PROPOSED	D
CD15	SECTIONS	D
CD16	CONSTRUCTION DETAILS 1	D
CD17	CONSTRUCTION DETAILS 2	D
CD18	LIGHTWEIGHT CLADDING CONSTRUCTION DETAILS	D
CD19	WINDOW AND DOOR SCHEDULE	D
CD20	GRANNY FLAT - PROPOSED	D
CD21	GRANNY FLAT - PROPOSED ELEVATIONS 1	D
CD22	GRANNY FLAT - PROPOSED ELEVATIONS 2	D
CD23	SHADOW DIAGRAM - WINTER 21ST OF JUNE 8AM	D
CD24	SHADOW DIAGRAM - WINTER 21ST OF JUNE 12PM	C
CD25	SHADOW DIAGRAM - WINTER 21ST OF JUNE 4PM	D
CD26	SHADOW DIAGRAM - SUMMER 21ST OF DECEMBER 8AM	D
CD27	SHADOW DIAGRAM - SUMMER 21ST OF DECEMBER 12PM	D
CD28	SHADOW DIAGRAM - SUMMER 21ST OF DECEMBER 4PM	D
CD29	COLOUR AND FINISHES SCHEDULE	D
CD30	FRONT STREETScape - No.53	D
CD31	SURVEY - NWS REF(24195) DATED-11 05 24	D



Certificate No. # 42MXX6VEXT

Scan QR code or follow website link for rating details.

Assessor name

CHISEL ORACION

Accreditation No.

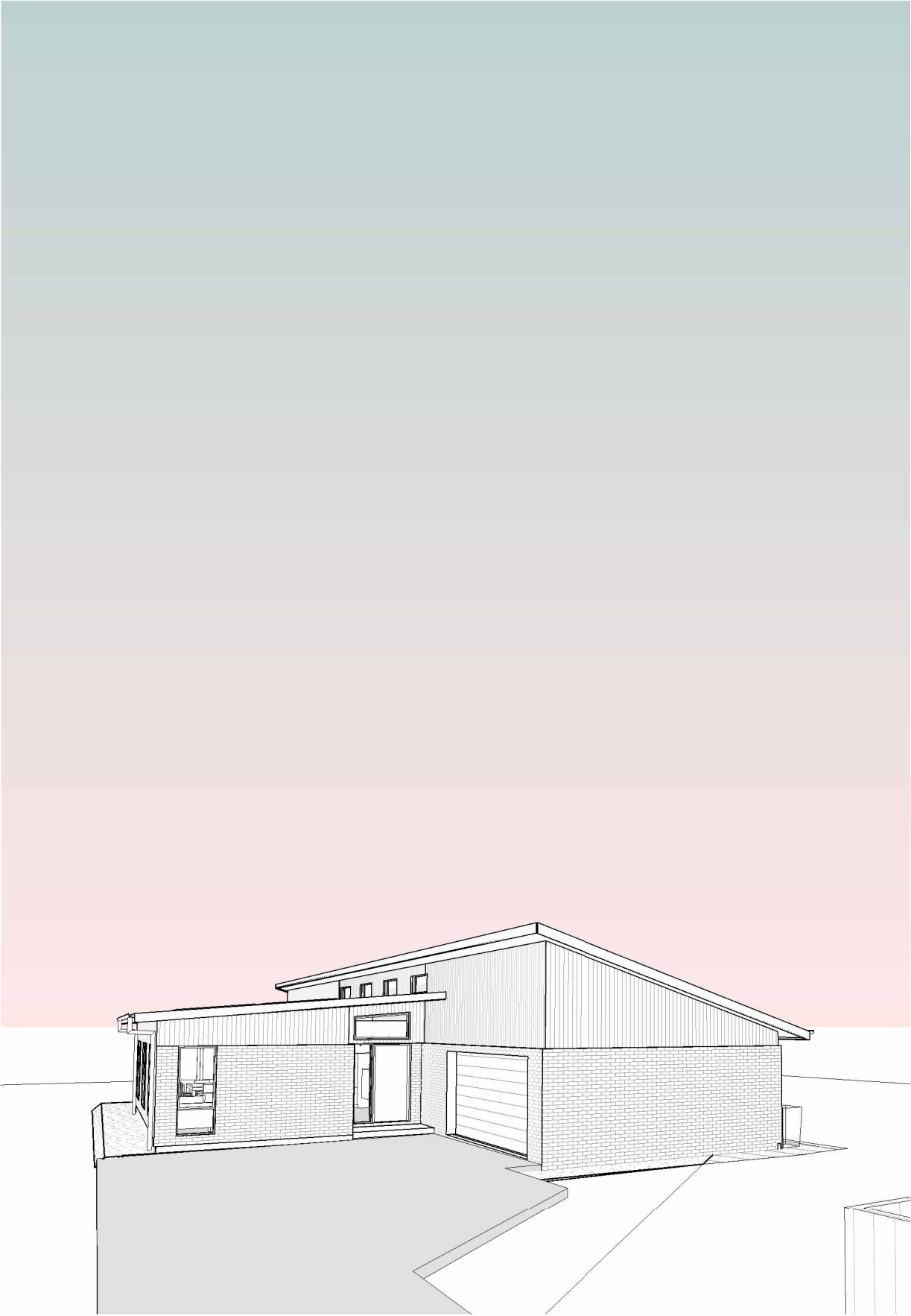
101574

Property Address

53 McCrossin Avenue,  
Birrong, NSW, 2143



<https://www.fr5.com.au/QRCodeLanding?PublicId=42MXX6VEXT>



1 3D PERSPECTIVE  
SCALE @ A3

FLOOD AFFECTED  
CONSTRUCTION DRAWINGS



ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.

REV	DATE	DESCRIPTION
A	30/01/2024	CONSTRUCTION DRAWINGS ISSUE
C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24
D	21/05/2024	CHANGES

PROJECT PROPOSED NEW HOUSE 53 MCCROSSIN AVENUE, BIRRONG NSW 2143			
FOR	MCKENZIE	DRAWN BY	PW
PROJECT NO	23027	DESIGN	CUSTOM

DRAWING TITLE COVER SHEET		
SCALE	DRAWING NO.	REV
NO SCALE	CD01	D

BUILDER TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.

ALL WORK IN A MINE SUBSIDENCE DISTRICT MUST BE CONSTRUCTED IN ACCORDANCE WITH SUBSIDENCE ADVISORY NSW (SA NSW) APPROVAL.

AS 1288 - GLASS IN BUILDINGS - SELECTION AND INSTALLATION  
AS 1562 - DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING  
AS 1684 - NATIONAL TIMBER FRAMING CODE  
AS 2049 - ROOF TILES  
AS 2050 - INSTALLATION OF ROOF TILES  
AS 2870 - RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION  
AS/NZS 2904 - DAMP-PROOF COURSES AND FLASHINGS  
AS2918 - DOMESTIC SOLID FUEL BURNING APPLIANCES - INSTALLATION  
AS3500 - PLUMBING AND DRAINAGE  
AS 3600 - CONCRETE STRUCTURES  
AS 3660 - BARRIERS FOR SUBTERRANEAN TERMITES  
AS 3700 - MASONRY IN BUILDINGS  
AS 3740 - WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS  
AS 3786 - SMOKE ALARMS  
AS 4055 - WIND LOADINGS FOR HOUSING  
AS 4100 - STEEL STRUCTURES

SOIL CLASSIFICATION - REFER TO STRUCTURAL ENGINEERS SOIL TEST.

SUB-FLOOR VENTILATION MINIMUM 7500MM SQ FOR EXTERNAL WALLS AND 1500MM SQ FOR INTERNAL WALLS BELOW BEARER.

THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGH-OUT CONSTRUCTION

EXHAUST FANS TO COMPLY WITH CURRENT BCA PART 3.8.5.2 SECTION C  
EXHAUST FAN TO BE SEALED AND DUCTED TO OUTSIDE OF DWELLING. NOTE:  
IF VENTING OCCURS DIRECTLY THROUGH WALL/ROOF ADJACENT TO FAN,  
THEN UNIT REQUIRES SELF CLOSING BAFFLES TO BE CLASSIFIED AS A  
'SEALED' UNIT.

CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT BUILDING CODE OF AUSTRALIA TABLE 3.1.1. ALL CUTS AND FFL'S SHOWN ARE SUBJECT TO ENGINEERING ADVICE ONCE A SATISFACTION SOIL TEST HAS BEEN RECEIVED AND REVIEWED. ALL EARTHWORKS TO COMPLY TO THE CURRENT BCA PART 3.1.1 ALL EMBANKMENTS THAT ARE LEFT EXPOSED MUST BE STABILISED WITH VEGETATION OR SIMILAR TO PREVENT EROSION. EMBANKMENTS CANNOT EXCEED 2.0M IN HEIGHT WITHOUT THE AID OF RETAINING WALLS OR OTHER APPROVED TYPE OF SOIL RETAINING METHOD. ALL UNPROTECTED EMBANKMENTS MUST COMPLY WITH THE SLOPE RATIOS FOR SOIL TYPE IN TABLE 3.1.1.1 OF THE CURRENT BCA.

BA	BATH / SPA
BB	BREAKFAST BAR
BE	BENCH
COL	COLUMN TO STRUCTURAL ENG'S SPEC'S
CON	CONCRETE
CPT	CARPET
CK/O	COOKTOP / OVEN
DP	DOWNPIPE. CONNECT TO

DW	DISHWASHER
FP	FIRE PLACE
FR	FRIDGE/FREEZER
FW	FLOOR WASTE
GS	GLASS SHOWER SCREEN
MI	MIRROR
ORG	OVERFLOW RELIEF GULLY
R/A	RETURN AIR
RH	RANGEHOOD
SL	SKYLIGHT
SR	SHOWER
SRG	SHOWER GRATE
SK	SINK
T	LAUNDRY TUB
TMB	TIMBER DECK
TR	TOWEL RAIL
TRH	TOILET ROLL HOLDER
TV	TERMINAL VENT
VB	VANITY BASIN
VT	VITRIFIED TILES - NON SLIP
WC	WATER CLOSET
WIP	WALK IN PANTRY
W/M	WASHING MACHINE LOCATION
NO ST	NO STEP IN FLOOR LEVEL
ST DN	STEP DOWN IN FLOOR LEVEL

D00 DOOR NUMBER,  
REFER TO SCHEDULE

W00 WINDOW NUMBER,  
REFER TO SCHEDULE

**BRICK VENEER WALL**  
110mm SELECTED BRICK  
40mm CAVITY  
VAPOUR PERMEABLE SARKING  
SELECTED WALL INSULATION  
90mm TIMBER STUDS @ 600 CTRS  
10mm PLASTERBOARD OR  
AQUACHEK TO WET AREAS

LIGHTWEIGHT CLADDING  
9.5mm JAMES HARDIE AXON  
VERTICLE CLADDING  
35mm BATTENS  
VAPOUR PERMEABLE SARKING  
SELECTED WALL INSULATION  
90mm TIMBER STUDS @ 600 CTRS  
10mm PLASTERBOARD OR  
AQUACHEK TO WET AREAS

WL3	<u>STUD WALL</u> 10mm PLASTERBOARD 90mm TIMBER STUDS @ 600 CTRS 10mm PLASTERBOARD OR AQUACHEK TO WET AREAS
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WL4 SINGLE BRICK WALL  
110mm SELECTED BRICK

Water Commitments	
Low Water Use Landscape Area (m2)	100
Shower Head Rating	4 Star (>4.5 but <= 6 L/min)
Toilet Flushing System Rating	6 Star
Kitchen Taps Rating	6 Star
Bathroom Taps Rating	6 Star
On Demand Hot Water Reticulation System	No
Rainwater Tank Capacity	Main House 5,000 lt and Granny Flat 2,000L
Rainwater Tank to be connected to	Outdoor taps, all toilets and laundry

Greywater Treatment System Installed	No
Swimming Pool to have volume no greater >	N/A

Floor - Concrete Slab	Nil
External Walls (Min) - Brick Veneer	N/A
Internal Walls with shared garage (Min) - plasterboard	N/A
Ceiling & Roof (Min) - Flat ceiling/pitched roof Medium Solar Absorptance (0.475 - 0.70)	N/A

Hot Water System	Solar heat pump to main house and electric storage to granny flat
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Install Day/Night Zoning	N/A
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Install Day/Night Zoning	N/A
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Ventilation System	
1. Mechanical Ventilation	2. Natural Ventilation

Kitchen	Rangerhood ducted to facade/roof manual on/off switch
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Bathroom	Individual Fan ducted to facade/roof manual on/off switch
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Laundry	Natural Ventilation
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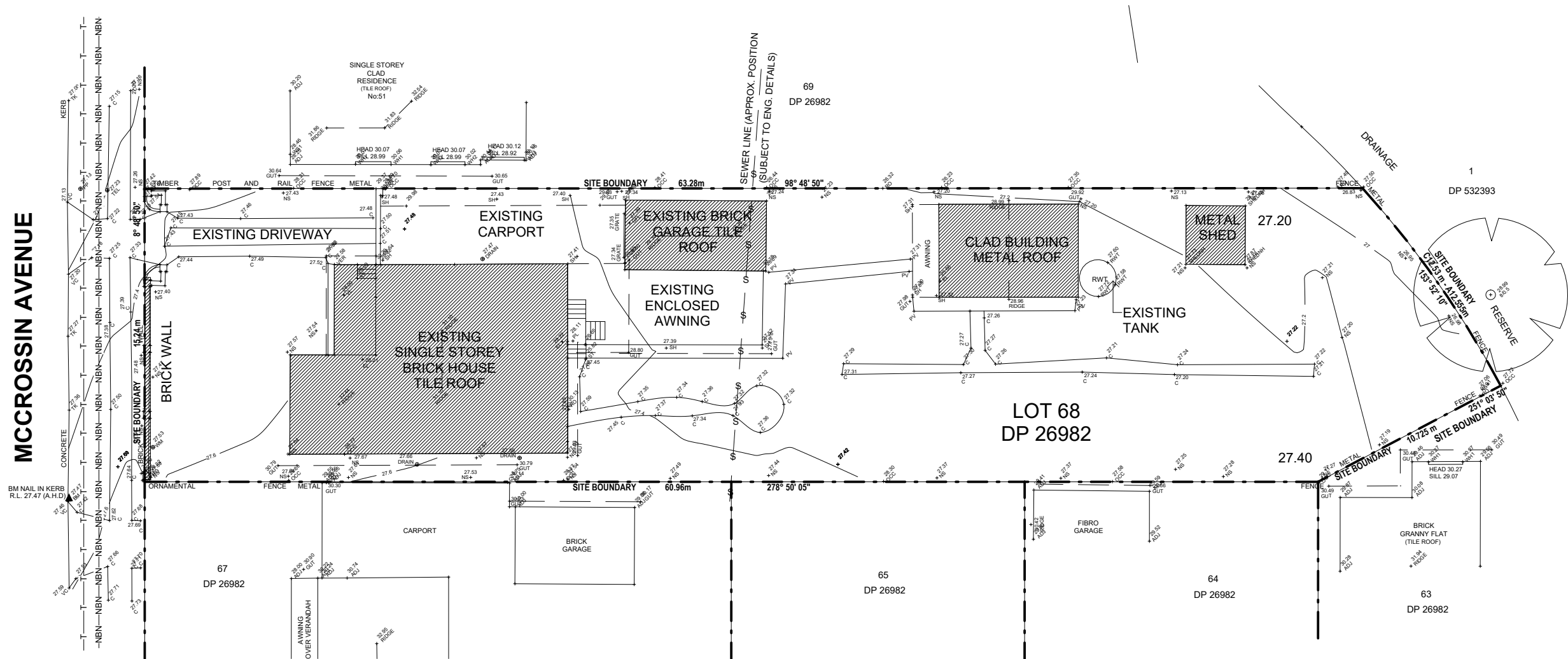
Kitchen	Primary type of artificial lighting is fluorescent or LED
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Cooking equipment	Electric cooktop & electric oven
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Other Requirements	A fixed outdoor clothes drying line must be installed. A well ventilated refrigerator space must be constructed.
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					D	21/05/2024	CHANGES	FOR MCKENZIE			DRAWN BY BP		SCALE	DRAWING NO.	REV
								PROJECT NO 23027		DESIGN CUSTOM		1 : 50 @ A3	CD02	D	

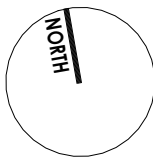




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SITE ANALYSIS PLAN/EXISTING PLAN - PROPOSED  
SCALE 1 : 250 @ A3

FLOOD AFFECTED  
CONSTRUCTION DRAWINGS



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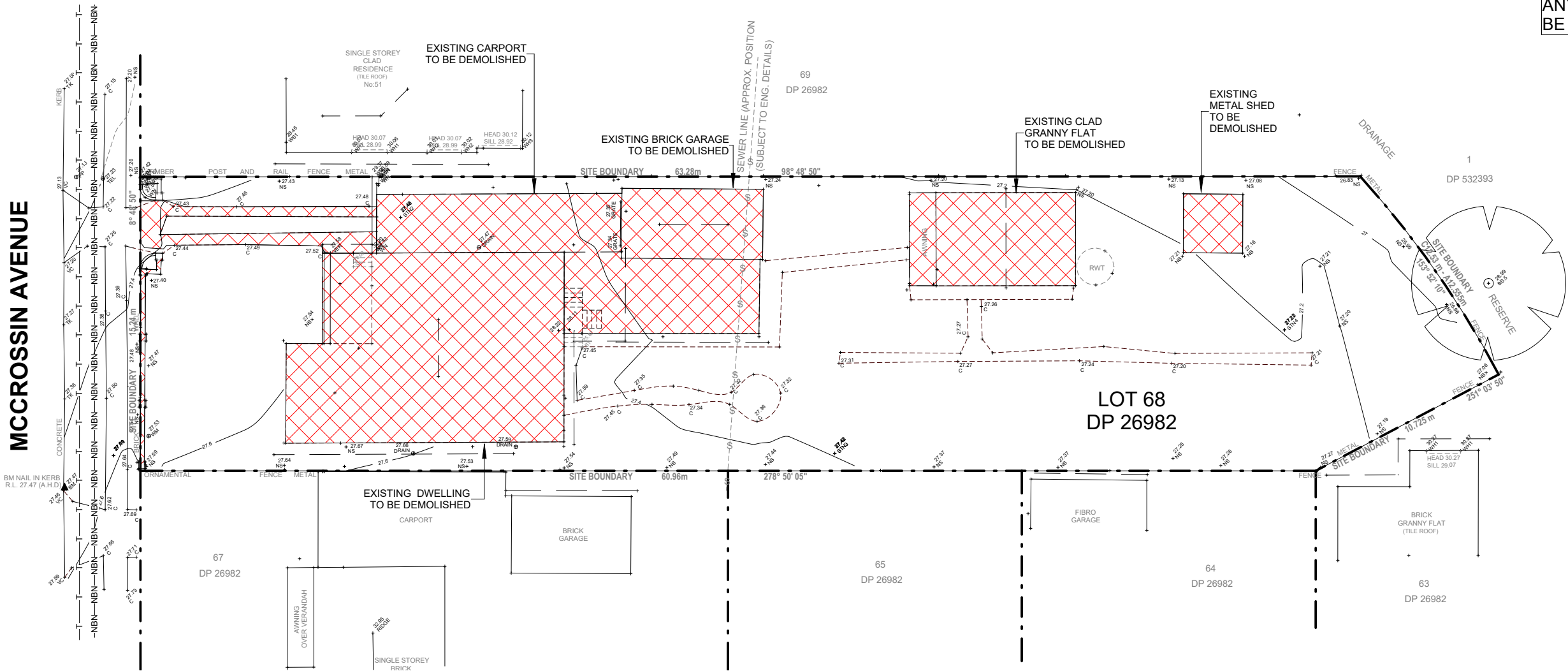
DRAWING TITLE SITE ANALYSIS PLAN/EXISTING PLAN		
SCALE	DRAWING NO.	REV
A <sub>s</sub> 1:200 @ A3	CD03	D

EXISTING STRUCTURES  
TO BE DEMOLISHED

ALL DIMENSIONS ARE NOMINAL. UNDER  
GROUND CONDITIONS ARE ASSUMED  
UNTIL PROPERLY SURVEYED.

ASBESTOS REMOVAL TO COMPLY WITH  
NATIONAL OCCUPATIONAL HEALTH &  
SAFETY COMMISSION (NOHSC 2002)



ANY DAMAGE CAUSED BY DEMOLITION TO  
BE MADE GOOD



1 DEMOLITION PLAN - PROPOSED

SCALE 1 : 250 @ A3

FLOOD AFFECTED  
CONSTRUCTION DRAWINGS

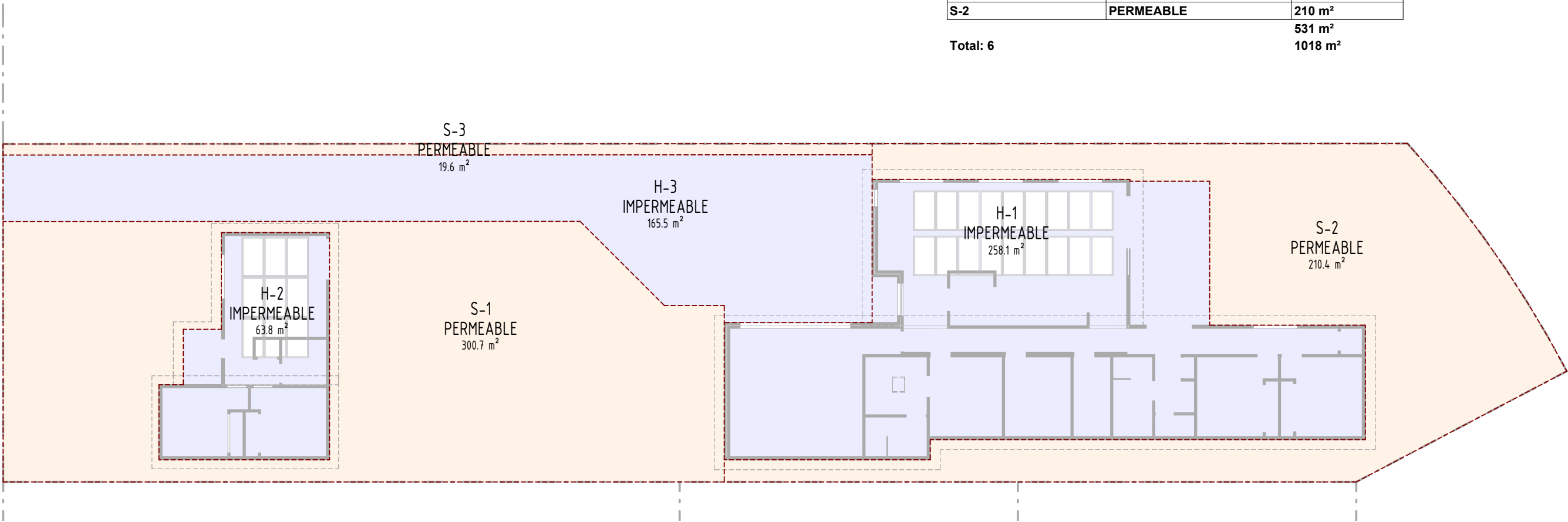
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			PROJECT NO		23027	DESIGN		CUSTOM	A1:200 @ A3	CD04	D



SITE - AREAS (CALCULATED)		
ID	Name	Area
H-2	IMPERMEABLE	64 m <sup>2</sup>
H-1	IMPERMEABLE	258 m <sup>2</sup>
H-3	IMPERMEABLE	165 m <sup>2</sup>
		487 m <sup>2</sup>
S-3	PERMEABLE	20 m <sup>2</sup>
S-1	PERMEABLE	301 m <sup>2</sup>
S-2	PERMEABLE	210 m <sup>2</sup>
		531 m <sup>2</sup>
Total: 6		1018 m <sup>2</sup>

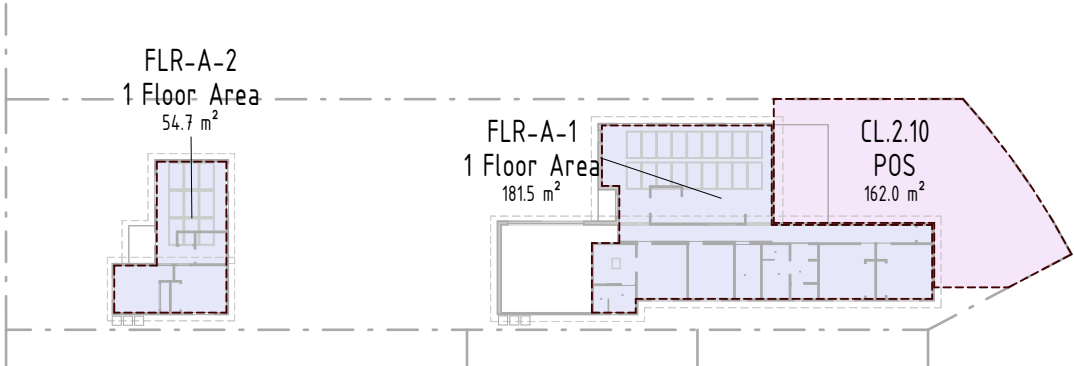
REAL PROPERTY  
DESCRIPTION

LOT 68, DP 26982  
AREA : 1,012 m<sup>2</sup>



1 AREA PLAN - SITE

SCALE 1 : 200 @ A3



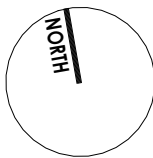
2 PROPOSED AREAS

SCALE 1 : 500 @ A3

AREA TYPE	REQUIRED	PROPOSED	COMPLIES
FSR			
PRIMARY DWELLING	50%	17.8%	YES
SECONDARY DWELLING	60m <sup>2</sup>	54.7m <sup>2</sup>	YES
COMBINED	50%	23%	YES
LANDSCAPE			
[cl.2.29] FRONTAGE	45%	58%	YES
PRIVATE OPEN SPACE			
POS - (Min 5.0m)	80m <sup>2</sup>	162m <sup>2</sup>	YES

FLOOD AFFECTED

CONSTRUCTION DRAWINGS



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PROPOSED NEW HOUSE			
53 MCCROSSIN AVENUE, BIRRONG NSW 2143			
FOR	MCKENZIE	DRAWN BY	BP
PROJECT NO	23027	DESIGN	CUSTOM

DRAWING TITLE		
AREA PLAN - PROPOSED		
SCALE	DRAWING NO.	REV
1:200 @ A3	CD05	D

NOTE:  
REFER SSR DATED 14/05/2024  
REF. **WP-SIAONL-941/2024**

FLOOD AFFECTED: **STORMWATER INFRASTRUCTURE**

THE SITE MAY BE AFFECTED BY THE FOLLOWING COUNCIL & SYDNEY WATER STORMWATER SYSTEM COMPONENTS. AN OPEN CHANNEL AND ASSOCIATED DRAINAGE RESERVE LOCATED ALONG EASTERN SITE BOUNDARY ADJACENT TO THE SITE

1% AEP (100 YEAR ARI): **26.90M AHD**  
FREEBOARD: **0.5M**  
PMF (PROBABALE MAXIMUM FLOOD): **28.2M AHD**

PROPOSED HABITABLE FLOOR LEVELS  
PRIMARY DWELLING: **27.70M AHD**  
SECONDARY DWELLING: **27.90M AHD**

- STORMWATER NOTE**
- NON-HABITABLE FLOOR LEVELS SHOULD BE NO LOWER THAN THE 20-YEAR FLOOD UNLESS JUSTIFIED BY A SPECIFIC ASSESSMENT.
  - ALL HABITABLE FLOOR LEVELS TO BE EQUAL TO OR GREATER THAN THE 100-YEAR FLOOD LEVEL PLUS FREEBOARD
  - ALL STRUCTURES TO HAVE FLOOD COMPATIBLE BUILDING COMPONENTS BELOW THE 100-YEAR FLOOD LEVEL PLUS FREEBOARD
  - APPLICANT TO SATISFY COUNCIL THAT THE PROPOSAL WILL NOT INCREASE FLOOD EFFECTS, A REPORT MAY BE REQUIRED
  - COUNCIL MAY REQUIRE CREATION OF AN EASEMENT OR RESTRICTION ON LAND
  - IN THE CASE OF GARAGES, THE MINIMUM SURFACE LEVEL SHALL BE AS HIGH AS PRACTICAL BUT NO LOWER THAN THE 20-YEAR FLOOD. SURFACE LEVELS SHOULD ALSO BE DETERMINED HAVING REGARD TO THE CONTROL NUMBER 4 BELOW RELATING TO DEPTHS OF INUNDATION OVER DRIVEWAYS.
  - THE LEVEL OF THE DRIVEWAY PROVIDING ACCESS BETWEEN THE ROAD AND THE PARKING SPACES SHOULD BE AS HIGH AS PRACTICAL
  - RESTRAINTS OR VEHICLE BARRIERS TO BE PROVIDED TO PREVENT FLOATING VEHICLES LEAVING THE SITE IN A 100-YEAR FLOOD
- EVACUATION**
- RELIABLE ACCESS FOR PEDESTRIANS OR VEHICLES IS REQUIRED FROM THE BUILDING, COMMENCING AT A MINIMUM LEVEL EQUAL TO THE LOWEST HABITABLE FLOOR LEVEL TO AN AREA OF REFUGE ABOVE THE PMF. SUCH A REFUGE MAY COMPRISE A MINIMUM OF 20% OF THE GROSS FLOOR AREA OF THE DWELLING BEING ABOVE THE PMF LEVEL. AN ENGINEER'S REPORT MAY BE REQUIRED.
  - THE DEVELOPMENT SHOULD BE CONSISTENT WITH ANY FLOOD EVACUATION STRATEGY, FLOOD PLAN OR SIMILAR STRATEGY THAT HAS BEEN ADOPTED BY COUNCIL

REAL PROPERTY DESCRIPTION

LOT 68, DP 26982  
AREA : 1,012 m<sup>2</sup>

LEGEND

EXISTING TREE

-NBN-

EXISTING NBN CABLE

S

EXISTING SEWER MAN HOLE

-S-S-

EXISTING SEWER LINE

-X-X-

SEDIMENT CONTROL BARRIER

-T-T-

TELECOMMUNICATIONS LINE

-|F|-|F|-

TEMPORARY SECURITY FENCING

AHD

AUSTRALIAN HEIGHT DATUM

RL

REDUCED LEVEL

C

EDGE OF CONCRETE

PL

PATIO LEVEL

VL

VERANDAH LEVEL

EL

ENTRY LEVEL

GFL

GARAGE FLOOR LEVEL

GUT

TOP OF GUTTER

4/0.2

TREE SPREAD / TRUNK DIAMETER

NS

NATURAL SURFACE

SH

SPOT HEIGHT

TK

TOP OF KERB

VC

VEHICLE CROSSING

WM

WATER METER

PP

POWER POLE

TEL

TELSTRA

The site plan shows Lot 68, DP 26982, bounded by McCrossin Avenue to the west and a drainage reserve to the east. The plan includes a proposed driveway with a slope of less than 1:4, a proposed granny flat with a bench at 27600, and a proposed house with a bench at 27400. Various setbacks are indicated, including 7023, 1000, 17788, 8072, 1910, and 1499. The plan also shows existing features like a brick garage, fibro garage, and a brick granny flat. Sediment control fences and barriers are marked throughout the site. The plan is oriented with North at the top.

SITE PLAN - PROPOSED

SCALE 1 : 250 @ A3

**NOTES:**

- DEVELOPMENT MUST COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE WASTE DESIGN FOR NEW DEVELOPMENTS GUIDE
- ANY FENCING THAT FORMS PART OF A PROPOSED DEVELOPMENT IS SUBJECT TO THE RELEVANT FLOOD EFFECT AND STRUCTURAL SOUNDNESS CONSIDERATIONS OF THE RELEVANT CATEGORY.
- APPLICANT TO DEMONSTRATE THAT FENCES (NEW OR REPLACEMENT FENCE) WOULD CREATE NO IMPEDIMENT TO THE FLOW OF FLOODWATERS
- ANY PROPOSED OR FUTURE HEATING OR AIR CONDITIONING SYSTEMS TO BE INSTALLED ABOVE THE RELEVANT FLOOD LEVEL WHERE POSSIBLE

STORMWATER SYSTEM SUBJECT TO HYDRAULIC ENGINEERS DESIGN AND DETAILS

SUBJECT TO SEWER PEGOUT (INCL. DEPTH AND Z.O.I) TO FUTURE ENG. DETAILS.  
ACTUAL POSITION TO BE DETERMINED

SUBJECT TO COUNCIL APPROVAL

FLOOD AFFECTED

CONSTRUCTION DRAWINGS

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							DRAWING NO.			
							CD06			
							REV			
							D			



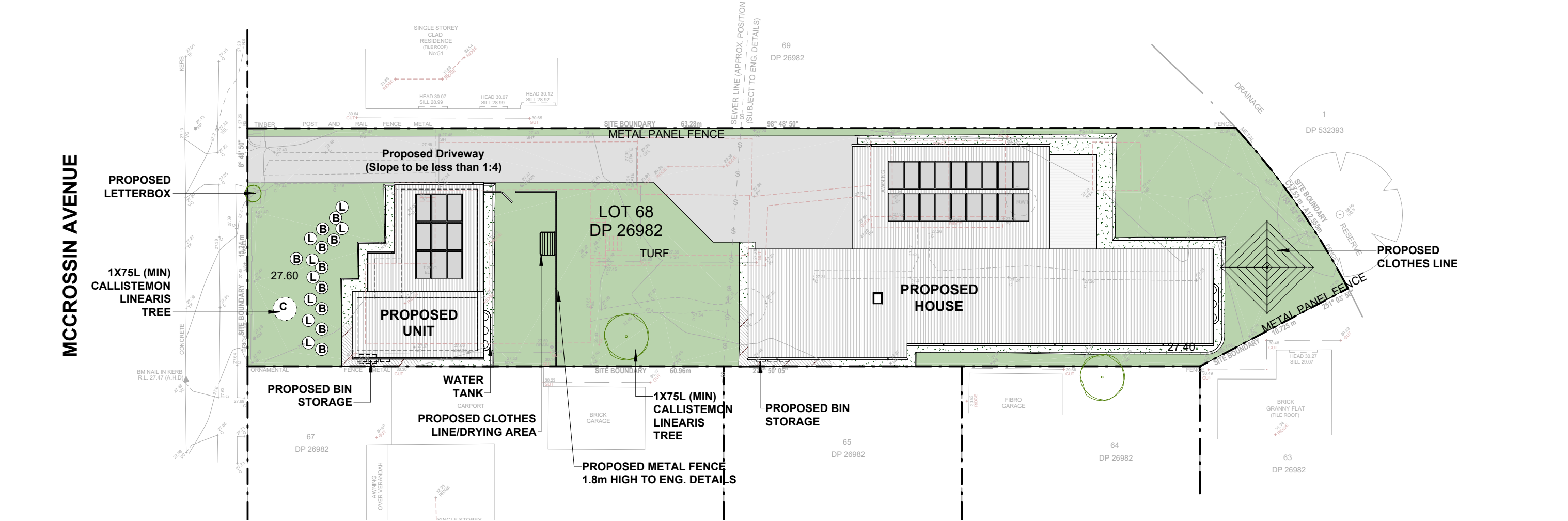
B  
Boronia - Heaven Scent  
Boronia Megastigma



L  
Lavender Little Poppet  
lavandula angustifolia little poppet

REAL PROPERTY  
DESCRIPTION



LOT 68, DP 26982  
AREA : 1,012 m<sup>2</sup>



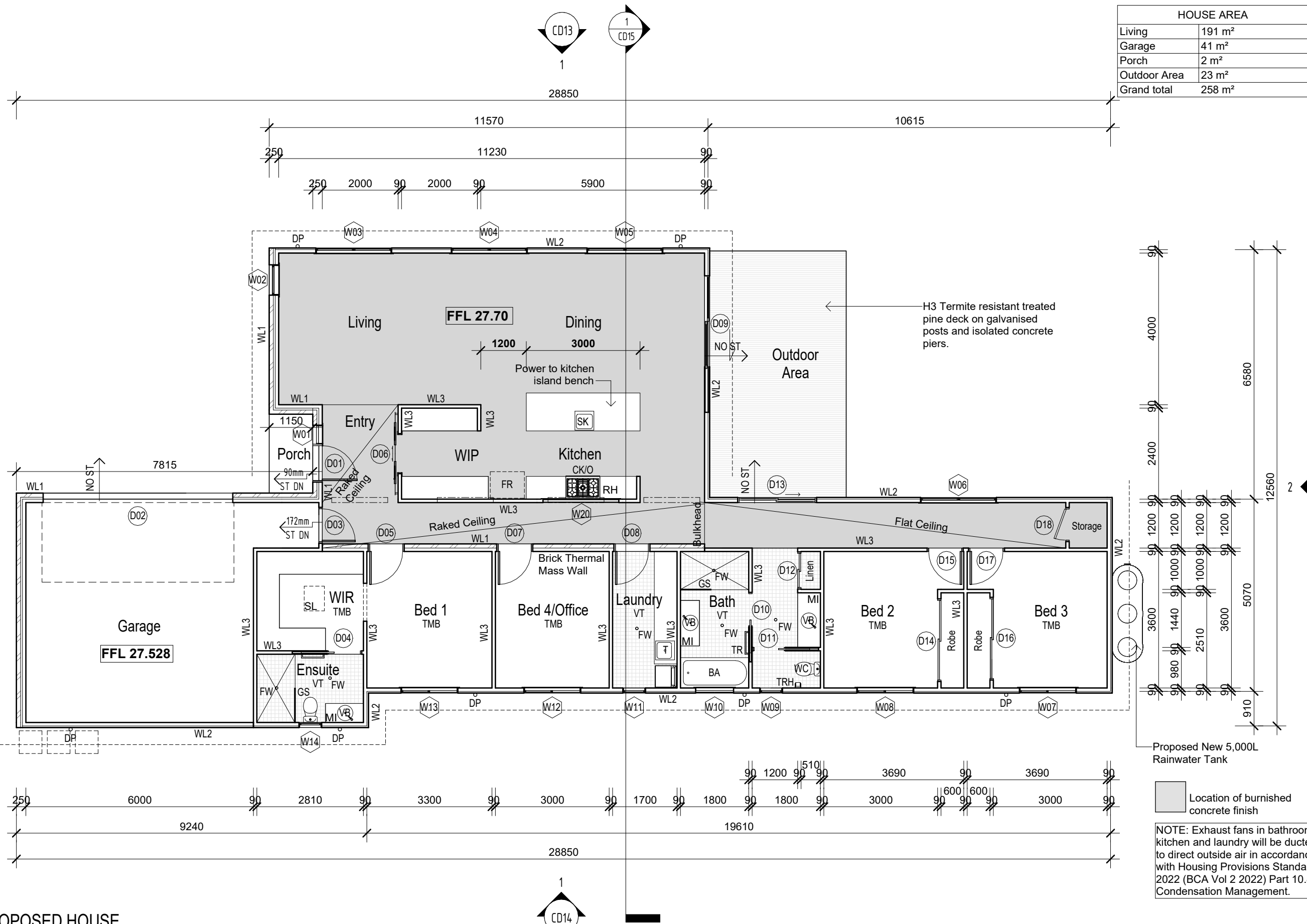
1  
LANDSCAPE PLAN - PROPOSED  
SCALE 1 : 250 @ A3

- NOTES:
- DEVELOPMENT MUST RETAIN AND PROTECT ANY SIGNIFICANT TREES ON THE SITE AND ADJOINING SITES
  - PLANT AT LEAST ONE 75 LITRE TREE BETWEEN THE DWELLING HOUSE AND THE PRIMARY STREET FRONTAGE (REFER TO THE LANDSCAPE GUIDE FOR A LIST OF SUITABLE TREES IN CANTERBURY BANKSTOWN)

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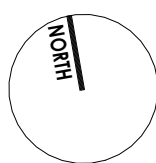


## FLOOR PLAN - PROPOSED HOUSE

SCALE 1 : 100 @ A3

## FLOOD AFFECTED

CONSTRUCTION DRAWINGS



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REV	DATE	DESCRIPTION
A	30/01/2024	CONSTRUCTION DRAWINGS ISSUE
C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24
D	21/05/2024	CHANGES

PROJECT  
PROPOSED NEW HOUSE  
53 MCCROSSIN AVENUE, BIRRONG NSW 2143

FOR MCKENZIE  
PROJECT NO 23027

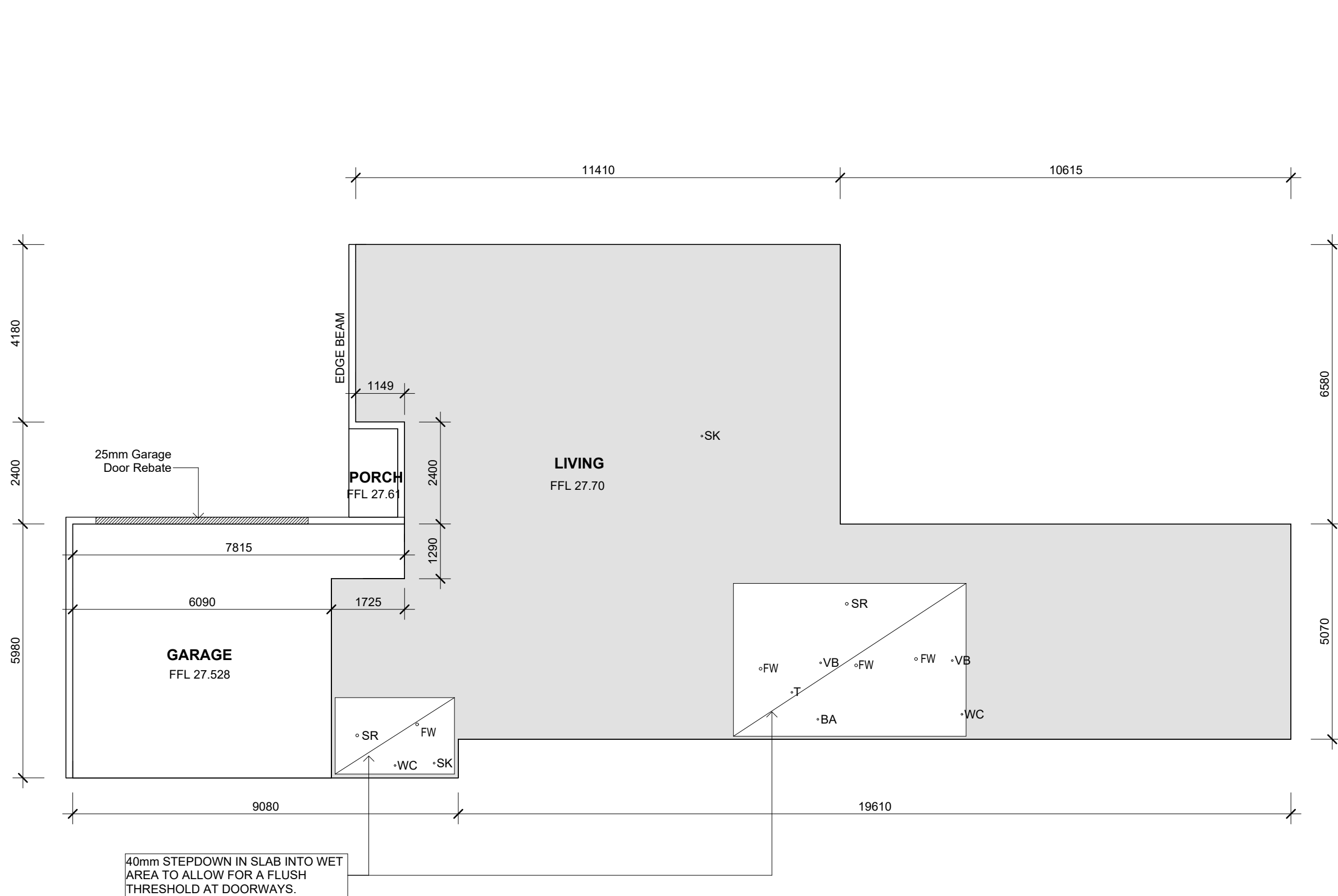
DRAWN BY BP  
DESIGN CUSTOM

DRAWING TITLE  
FLOOR PLAN - PROPOSED

SCALE  
1:100 @ A3

DRAWING NO.  
CD08

REV  
D



SLAB SETOUT LEGEND

- BA BATH
- FW FLOOR WASTE
- SR SHOWER
- SRG SHOWER GRATE
- SK SINK
- T LAUNDRY TUB
- VB VANITY BASIN
- WC WATER CLOSET

SLAB SETOUT NOTES

ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2015, THE BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.


THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS / DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.

FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORK. REPORT ALL DISCREPANCIES TO DESIGNER FOR CLARIFICATION.

1 SLAB SETOUT PLAN - PROPOSED  
SCALE 1 : 100 @ A3

FLOOD AFFECTED  
CONSTRUCTION DRAWINGS



NORTH

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PROJECT PROPOSED NEW HOUSE 53 MCCROSSIN AVENUE, BIRRONG NSW 2143		DRAWING TITLE SLAB SETOUT PLAN	
FOR PROJECT NO	MCKENZIE 23027	DRAWN BY DESIGN	BP CUSTOM
		SCALE 1:100 @ A3	DRAWING NO. CD09
		REV D	

ROOF LEGEND

BC

COLORBOND BARGE CAPPING

CB

COLORBOND ROOF SHEETING

DP

100 DIA. PVC DOWNPIPE AT 12.0m  
MAX CTS. CONNECT TO EXISTING  
STORMWATER LINE

EG

COLORBOND EAVES GUTTER

FP

FIRE PLACE

OH

OVERHANG

SL

SKYLIGHT

SP

SPREADER DOWNPIPE

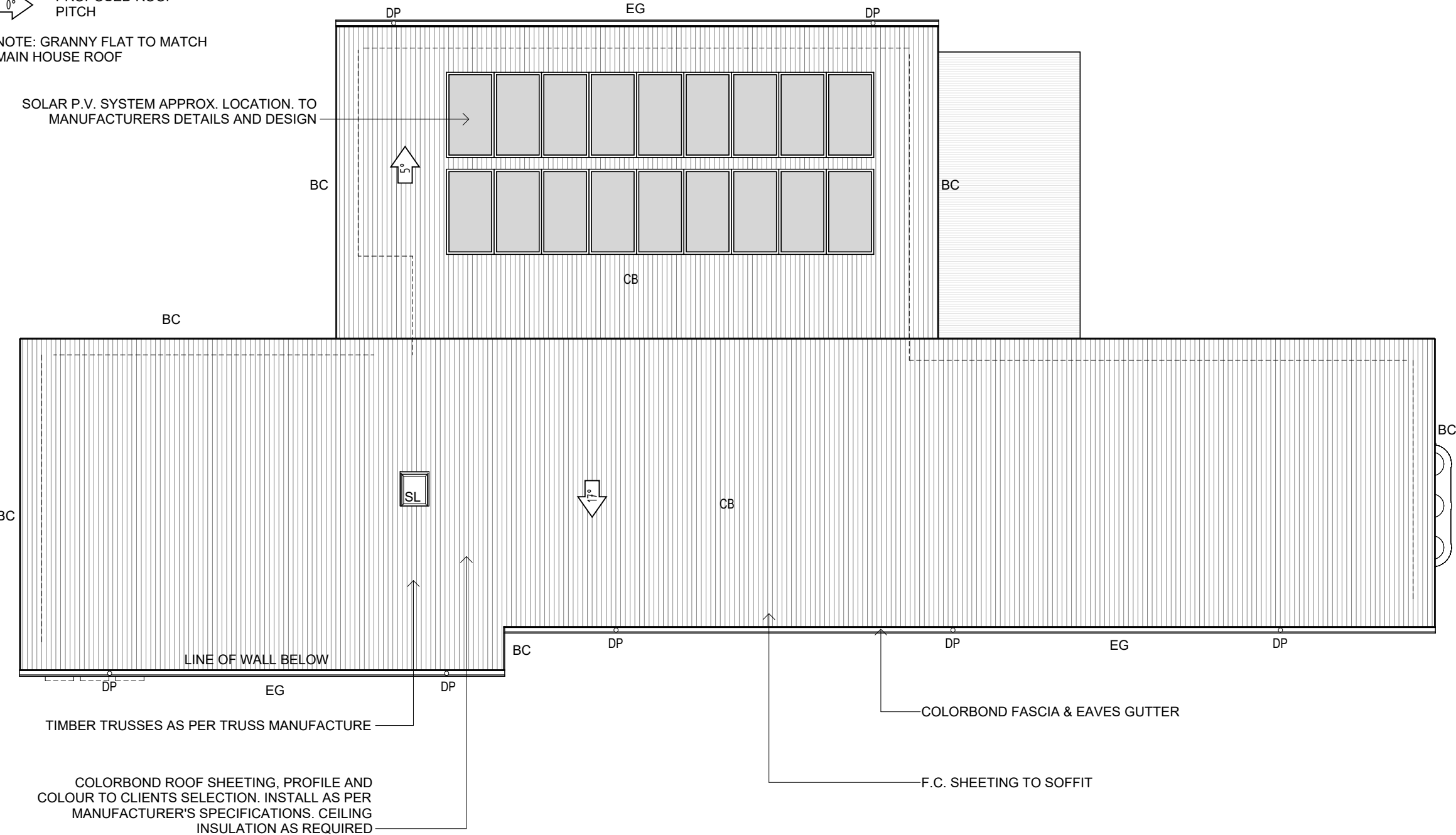
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→

PROPOSED ROOF  
PITCH

NOTE: GRANNY FLAT TO MATCH  
MAIN HOUSE ROOF

SOLAR P.V. SYSTEM APPROX. LOCATION. TO  
MANUFACTURERS DETAILS AND DESIGN



ROOF PLAN NOTES

STORMWATER:

110MM DIA. CLASS 6 UPVC STORMWATER LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO A LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTION OPENINGS AT 900MM CTRS AND AT EACH CHANGE OF DIRECTION. THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN-

100MM - UNDER SOIL

50MM - UNDER PAVED OR CONCRETE AREAS

100MM - UNDER REINFORCED CONCRETE OR PAVED DRIVEWAYS

75MM - UNDER REINFORCED CONCRETE DRIVEWAYS

PLUMBING NOTES:

**A ACCEPTABLE CONSTRUCTION MANUAL**

3.5.2.0 PERFORMANCE REQUIREMENT

P2.2.1 IS SATISFIED FOR GUTTER AND DOWNPIPES IF THEY ARE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500.3 - STORMWATER DRAINAGE INSTALLATIONS

**B ACCEPTABLE CONSTRUCTION PRACTICE**

**3.5.1.2 MATERIALS**

GUTTERS, DOWNPIPES AND FLASHINGS MUST BE MANUFACTURED IN ACCORDANCE WITH-

(A) AS2179.1 FOR METAL; AND

(B) AS1273 FOR UPVC COMPONENTS; AND

(C) BE COMPATIBLE WITH ALL UPSTREAM ROOFING MATERIALS IN ACCORDANCE WITH 3.5.1.3(C)

**3.5.2.4 INSTALLATION OF GUTTERS**

(A) GUTTERS MUST BE INSTALLED WITH A FALL NOT LESS THAN-

(I) 1:500 FOR EAVES GUTTERS, UNLESS FIXED TO METAL FASCIAS; AND

(II) 1:100 FOR BOX GUTTERS

(B) EAVES GUTTERS MUST BE SUPPORTED BY BRACKETS SECURELY FIXED AT STOP ENDS AND AT NOT MORE THAN 1.2M CTRS.

(C) VALLEY GUTTERS ON A ROOF PITCH-

(I) MORE THAN 12.5 DEGREES MUST HAVE A WIDTH OF NOT LESS THAN 400MM AND TO BE WIDE ENOUGH TO ALLOW THE ROOF COVERING TO OVERHANG NOT LESS THAN 150MM EACH SIDE OF THE GUTTER; OR

(II) NOT MORE THAN 12.5 DEGREES MUST BE DESIGNED AS A BOX GUTTER.

3.5.2.5 DOWNPIPES - SIZE AND INSTALLATION

(A) DOWNPIPES MUST BE SECURELY FIXED TO WALLS

(B) THE SPACING BETWEEN DOWNPIPES MUST NOT BE MORE THAN 12M.

(C) DOWNPIPES MUST BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND, IF THE DOWNPIPE IS MORE THAN 12M FROM THE VALLEY, PROVISION FOR OVERFLOW MUST BE MADE.

(D) DOWNPIPES MUST-

(I) BE COMPATIBLE WITH OTHER ROOFING MATERIALS USED IN THE ROOFING SYSTEM IN ACCORDANCE WITH 3.5.1.3. (C)

(II) BE SELECTED IN ACCORDANCE WITH APPROPRIATE EAVES GUTTER SECTION AS SHOWN IN TABLE 3.5.2.2.

**NOTES:** ROOF CLADDING, GUTTERS & DOWNPIPES AND WALL CLADDING SHALL COMPLY WITH BCA PART 3.5. THE BUILDER SHALL INSTALL ROOF CLADDING, GUTTERS & DOWNPIPES AND WALL CLADDING TO THE APPROPRIATE REQUIREMENTS AND STANDARDS FOR THE SELECTED MATERIAL. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE WATER TIGHTNESS OF THE BUILDING. DOWN PIPES AND GUTTERS SHALL BE OF A SIZE AND LOCATION INDICATED ON THE DRAWINGS AND IF NOT SPECIFICALLY NOTED COMPLY WITH PART 3.5.2. DOWNPIPES SHALL BE LOCATED AT A MAXIMUM SPACING OF 12M AND WITHIN 1.2M OF A VALLEY (UNLESS AN OVERFLOW IS PROVIDED.)

FLOOD AFFECTED

CONSTRUCTION DRAWINGS

green  
homes

Australia

NORTH

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PROJECT

PROPOSED NEW HOUSE

53 MCCROSSIN AVENUE, BIRRONG NSW 2143

FOR	MCKENZIE	DRAWN BY	BP
PROJECT NO	23027	DESIGN	CUSTOM

DRAWING TITLE

ROOF PLAN

SCALE	DRAWING NO.	REV
As 1:100 @ A3	CD10	D





## LEGEND

BA	BATH
DP	DOWNPIPE
FW	FLOOR WASTE
SR	SHOWER
SD	STRIP DRAIN
SK	SINK
T	LAUNDRY TUB
VB	VANITY BASIN
WB	WASH BASIN
WC	WATER CLOSET
—S—	PROPOSED NEW SEWER LINE
—SW—	PROPOSED NEW STORMWATER LINE
SRG	STRIP GRAIN
ORG	OVER FLOW RELIEF GULLY
TV	TERMINAL VENT

## DRAINAGE NOTES

DRAINAGE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH AS3500 AND LOCAL AUTHORITY.

STORMWATER PIPES TO BE UPVC CLASS HD

SEWER PIPES TO BE UPVC CLASS SH

PROVIDE 200 K2 POLYETHYLENE WATER RETICULATION

TYPE B STOP VALVE TO BE LOCATED ADJACENT TO ENTRY.

BACKFILL ALL TRENCHES BENEATH VEHICLE PAVEMENT AND SLABS ON GRADE TO FULL DEPTH WITH 20 FCR.

PROVIDE OVERFLOW RELIEF GULLY WITH TAP OVER. INVERT LEVEL TO BE A MINIMUM OF 150MM BELOW FINISHED.

CUT AND BATTER ARE INDICATIVE. BATTER TO COMPLY WITH CURRENT BUILDING CODE OF AUSTRALIA TABLE 3.1.1.1

AG DRAIN REQUIRED AROUND PERIMETER OF DWELLING FOR ALL CLASS M,H,E SITES. LOCATE AG DRAIN NOT CLOSER THAN 1.5M FROM FOOTING, IN ACCORDANCE WITH AS2870 2011 SECTION 5.6.

PROVIDE SURFACE DRAINAGE IN ACCORDANCE WITH AS2870 SECTION 5.6.3.



PROVIDE FLEXIBLE JOINTS IN ALL DRAINAGE EMERGING FROM UNDERNEATH OR ATTACHED TO BUILDING IN ACCORDANCE WITH AS2870 2011 SECTION 5.6.4 FOR ALL CLASS H&E SITES. REFER GEOTECH FOR CLASS.

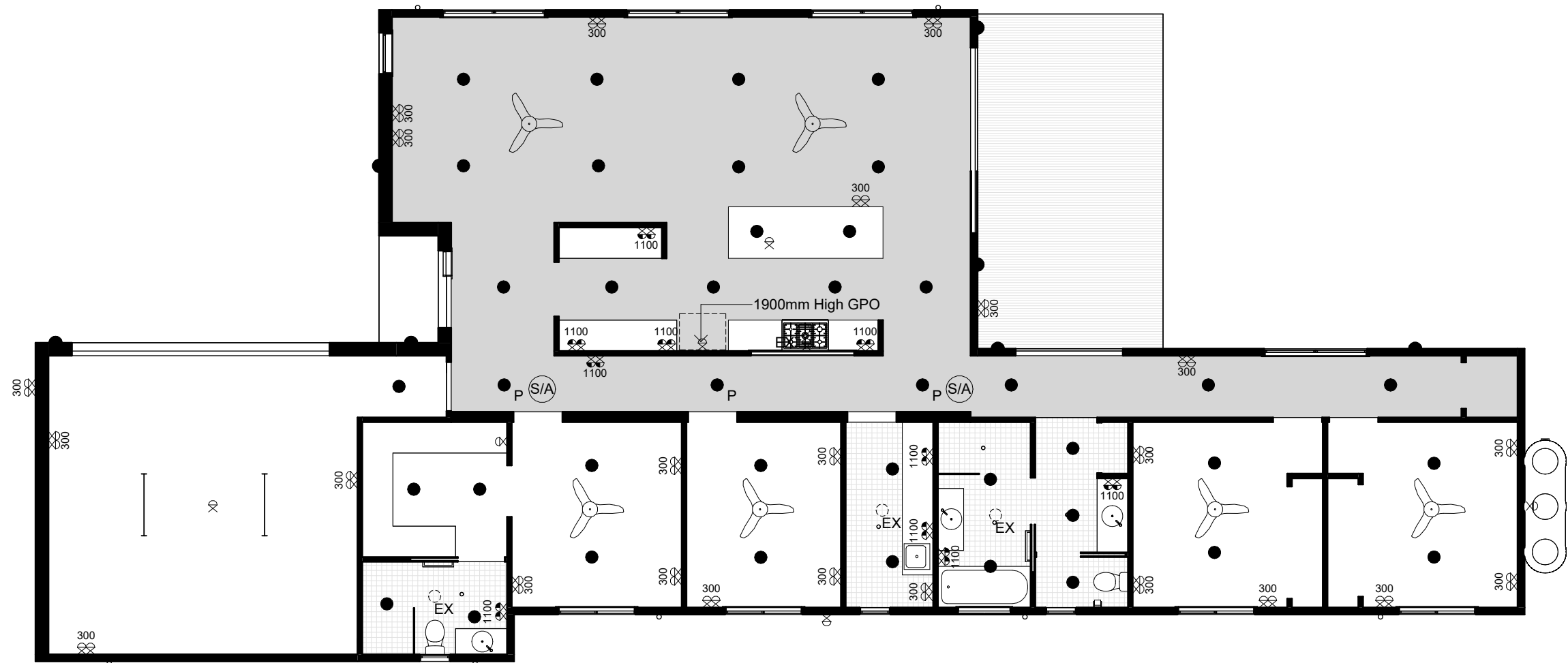
DOWNPIPES AND GUTTERS DESIGNED IN ACCORDANCE WITH AS/NZS 3500.3 2003.

STORMWATER SYSTEM AND DETAILS SUBJECT TO HYDRAULIC ENGINEERS DETAILS

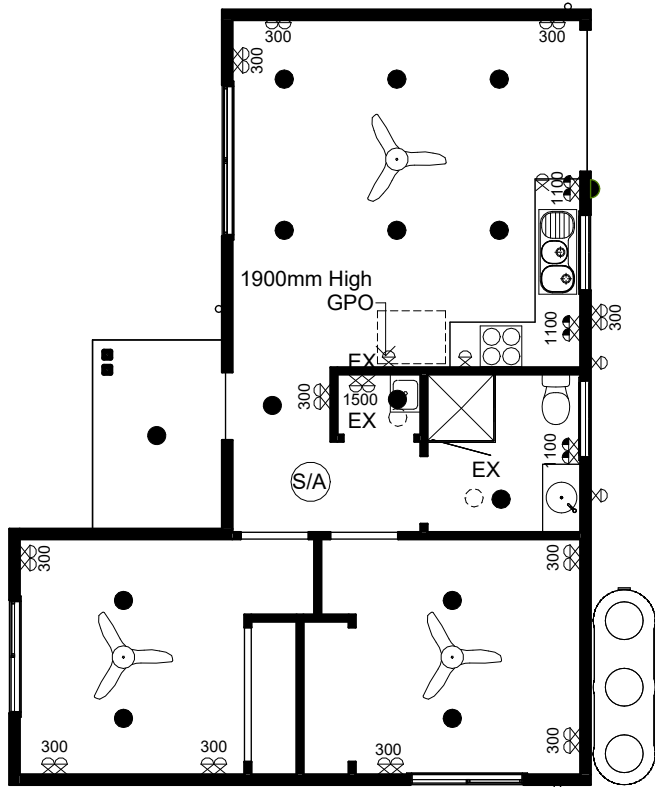
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			A	30/01/2024	CONSTRUCTION DRAWINGS ISSUE	PROPOSED NEW HOUSE		SERVICES PLAN				
			C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24	53 MCCROSSIN AVENUE, BIRRONG NSW 2143						
			D	21/05/2024	CHANGES							
						FOR	MCKENZIE	DRAWN BY	BP	SCALE	DRAWING NO.	REV
						PROJECT NO	23027	DESIGN	CUSTOM	As1:100 @ A3	CD11	D



1 ELECTRICAL PLAN - PROPOSED  
SCALE 1 : 100 @ A3



2 ELECTRICAL PLAN - GRANNY FLAT PROPOSED  
SCALE 1 : 100 @ A3

ELECTRICAL LEGEND	
●	DOWN LIGHT
● <sub>P</sub>	PENDANT LIGHT
● <sub>EX</sub>	EXTERNAL LIGHT POINT
⌋	LIGHT SWITCH
○	LIGHT
—	FLUORESCENT LIGHTS
○EX	EXHAUST FAN AND LIGHT
⊗	SINGLE GPO
⊗ <sub>300</sub>	DOUBLE GPO - 300mm
⊗ <sub>1100</sub>	DOUBLE GPO - 1100mm
⊗ <sub>S/A</sub>	SMOKE ALARM
⊗	CEILING FAN

ELECTRICAL NOTE

ALL SYMBOLS AND SYMBOL LOCATIONS ARE INDICATIVE ONLY AND TO BE USED AS A GUIDE ONLY. SYMBOLS AND LOCATIONS ARE NOT DRAWN TO SCALE.

BOTH POWER POINTS FOR THE UBI & COOKTOP SHOULD SIT TO THE RIGHT HAND SIDE OF THE OVEN.

10AMP GPO FOR UBO ON SEPARATE CIRCUIT @ 750H

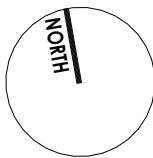
SPP FOR COOKTOP @ 750H SPP @ 1700H FOR RANGEHOOD

NOTE : LOCATIONS OF ALL ELECTRICAL AND LIGHTING TO BE CONFIRMED WITH CLIENT BEFORE CONSTRUCTION.

SMOKE ALARM TO BE INSTALLED AS PER AS3786-1993 AND THE NCC PART 3.7.2

NOTE: LIGHT SWITCHING SET LOWER - ACCESSIBILITY PROVISIONS.

FLOOD AFFECTED  
CONSTRUCTION DRAWINGS

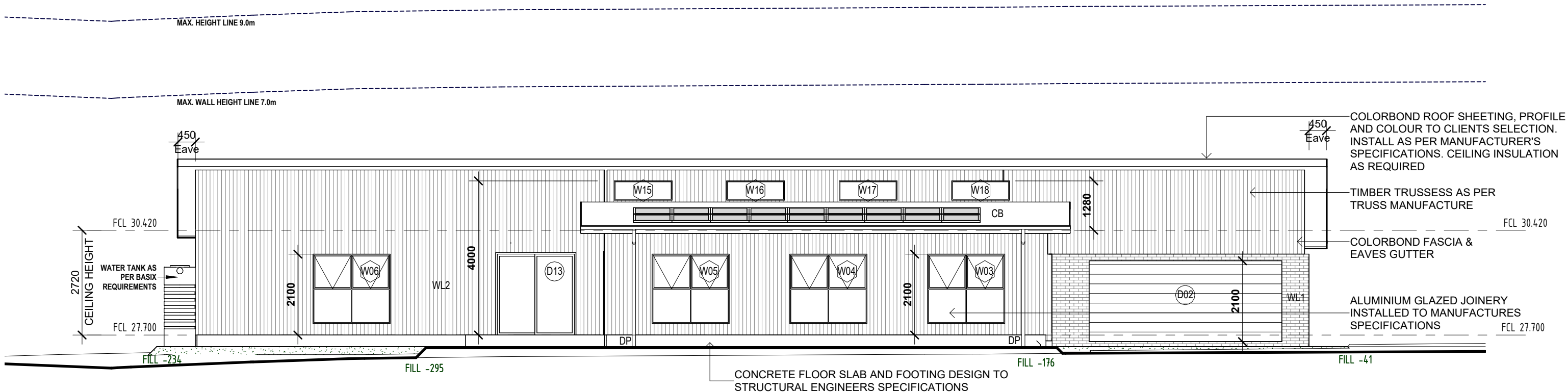


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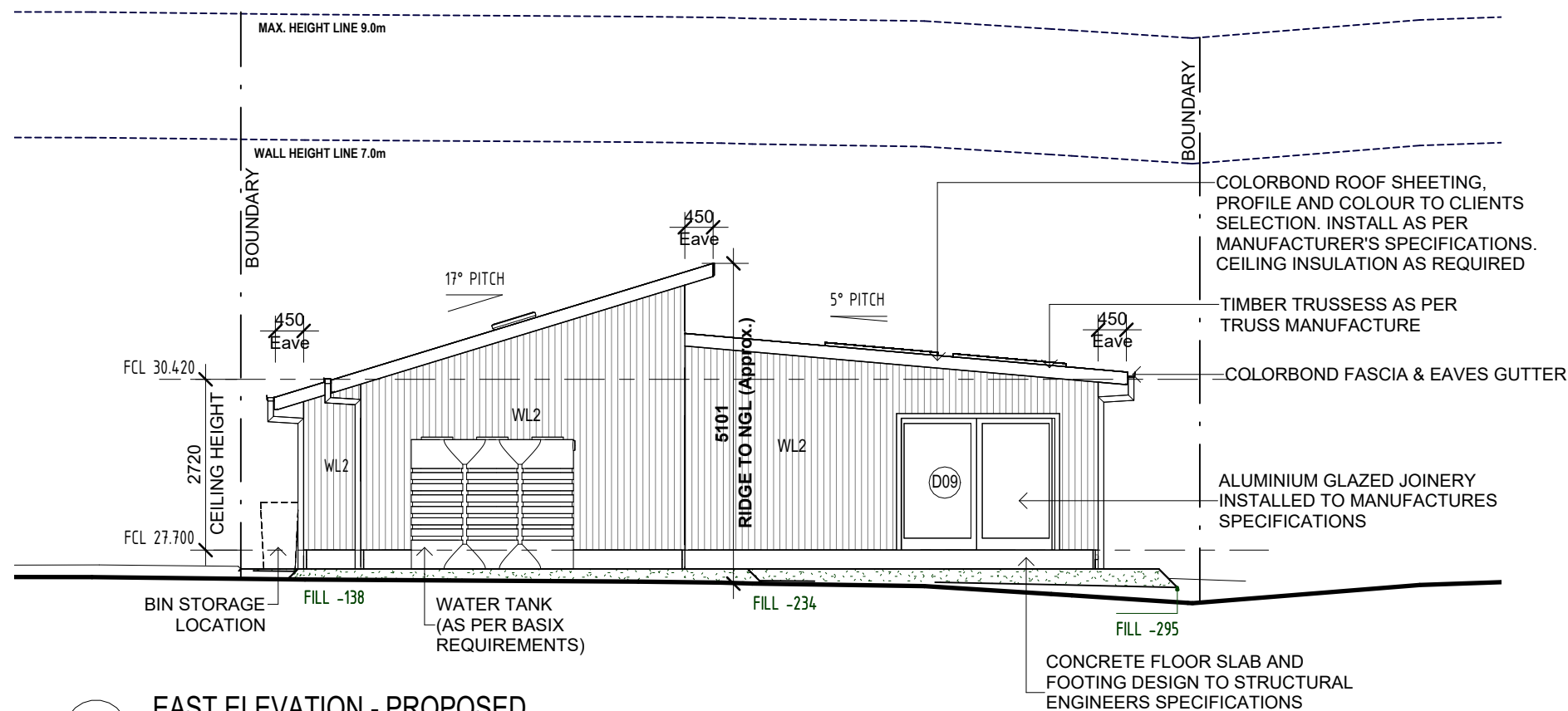
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FOR	MCKENZIE	DRAWN BY	BP
PROJECT NO	23027	DESIGN	CUSTOM

DRAWING TITLE ELECTRICAL PLAN		
SCALE	DRAWING NO.	REV
A <sub>s</sub> 1:100 @ A3	CD12	D





1 NORTH ELEVATION - PROPOSED  
SCALE 1:100 @ A3



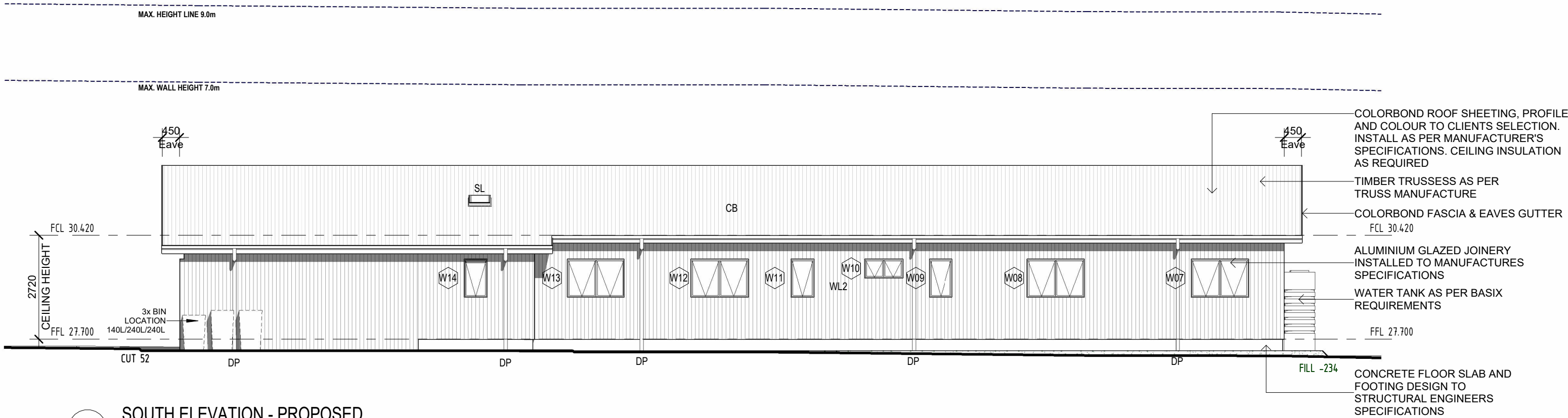
2 EAST ELEVATION - PROPOSED  
SCALE 1:100 @ A3

- ELEVATION LEGEND**
- CB COLORBOND ROOF SHEETING
  - CL CLOTHES LINE
  - DP COLORBOND DOWNPIPE. CONNECT TO RAINWATER TANK OR EXISTING STORMWATER LINE
  - FCL FINISHED CEILING LINE
  - FFL FINISHED FLOOR LINE
  - FGL FINISHED GROUND LINE
  - NGL NATURAL GROUND LINE
- ELEVATION LEGEND**
- D00 DOOR NUMBER, REFER TO SCHEDULE
  - W00 WINDOW NUMBER, REFER TO SCHEDULE
- WALL TYPE LEGEND**
- WL1 BRICK VENEER
  - WL2 VERTICAL LIGHT WEIGHT CLADDING

**FLOOD AFFECTED**  
CONSTRUCTION DRAWINGS

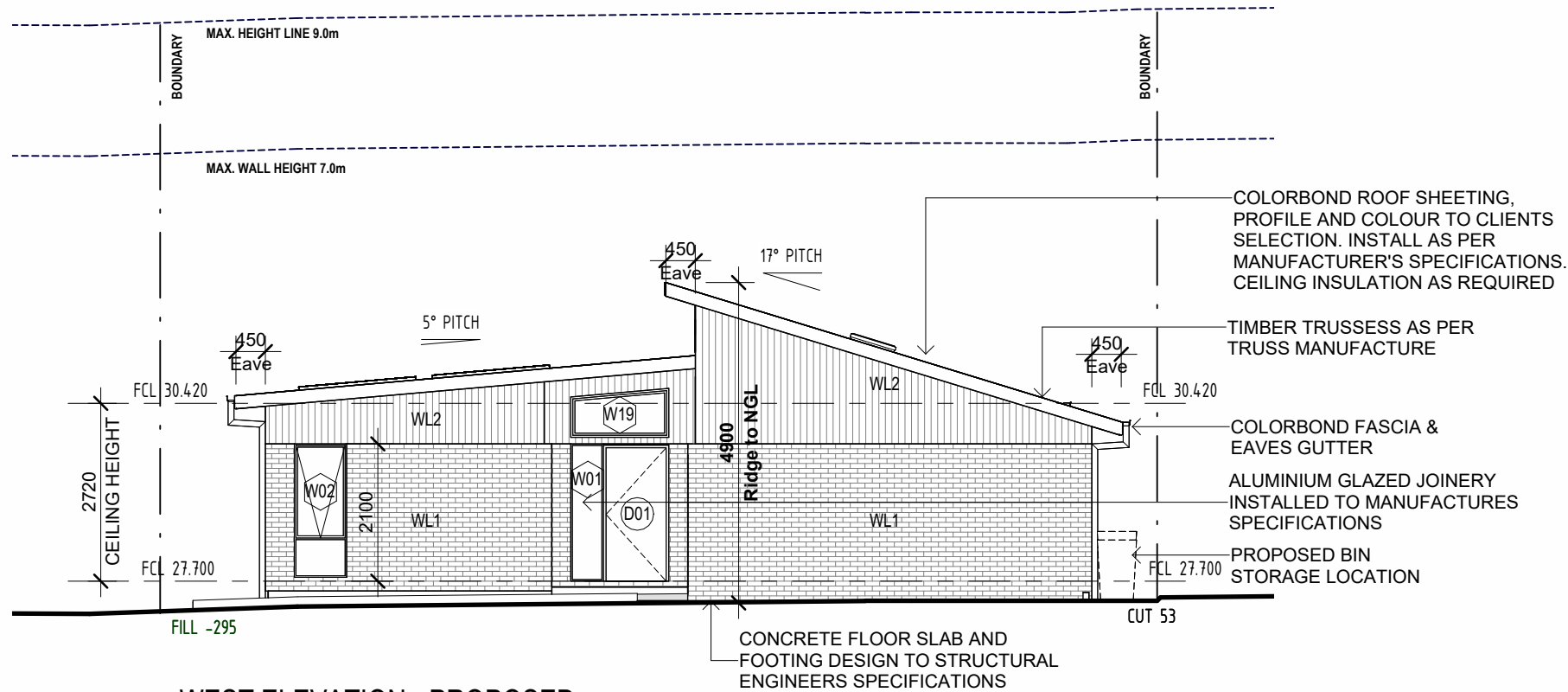
		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.	REV	DATE	DESCRIPTION	PROJECT		DRAWING TITLE			
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			D	21/05/2024	CHANGES						
			FOR		MCKENZIE	DRAWN BY		BP	SCALE	DRAWING NO.	REV
			PROJECT NO		23027	DESIGN		CUSTOM	As indicated @ A3	CD13	D





**SOUTH ELEVATION - PROPOSED**

SCALE 1: 100 @ A3



**WEST ELEVATION - PROPOSED**

SCALE 1: 100 @ A3

**ELEVATION LEGEND**

CB	COLORBOND ROOF SHEETING
CL	CLOTHES LINE
DP	COLORBOND DOWNPIPE. CONNECT TO RAINWATER TANK OR EXISTING STORMWATER LINE
FCL	FINISHED CEILING LINE
FFL	FINISHED FLOOR LINE
FGL	FINISHED GROUND LINE
NGL	NATURAL GROUND LINE

D00 DOOR NUMBER, REFER TO SCHEDULE

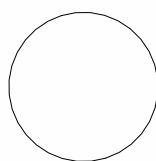
W00 WINDOW NUMBER, REFER TO SCHEDULE

**WALL TYPE LEGEND**

WL1	BRICK VENEER
WL2	VERTICAL LIGHT WEIGHT CLADDING

**FLOOD AFFECTED**

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DRAWING TITLE  
ELEVATIONS - PROPOSED

SCALE	DRAWING NO.	REV
As indicated @ A3	CD14	D



DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS TO BE CHECKED ON SITE. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT CODES. IT IS THE BUILDERS RESPONSIBILITY TO ENGAGE PROFESSIONAL SITE SUPERVISION FOR ALL STRUCTURAL WORKS. ANY DISCREPANCIES ON SITE/AND OR DRAWINGS SHOULD BE REPORTED TO **GREEN HOME AUSTRALIA** BEFORE PROCEEDING SUBJECT TO WRITTEN INSTRUCTIONS.

ALL STEELWORK TO BE GRADE 250 UNLESS NOTED OTHERWISE. SQUARE AND RECTANGULAR HOLLOW SECTIONS TO BE GRADE 350. FABRICATION AND ERECTION GENERALLY TO COMPLY WITH AS1250 - STEEL STRUCTURES CODE. ALL WELDS TO BE 5MM FILLET OR FULL STRENGTH BUTT WELDS UNLESS OTHERWISE NOTED. PROVIDE ALL CLEATS, BRACKETS, HOLES ETC. NECESSARY TO COMPLETE THE WORK. ALL STEEL GUSSET PLATES TO BE 6MM THICK WITH HOLE CENTRES 2 DIAMETERS FROM EDGES, UNLESS OTHERWISE NOTED. ALL HOLES TO BE DRILLED OR PUNCHED 2MM OVERSIZE UNLESS NOTED OTHERWISE. ALL STEELWORK TO BE PRIME PAINTED PRIOR TO ERECTION, EXCEPT STEELWORK WHICH IS TO BE EMBEDDED IN CONCRETE (WHICH MUST BE FREE FROM ALL GREASE, PAINT AND LOOSE PARTICLES) ALL BOLTS CONNECTING STEEL TO STEEL TO BE M12 MINIMUM UNLESS NOTED OTHERWISE. PROVIDE ALL BRACING AS NECESSARY DURING ERECTION.

CONCRETE STRENGTH TO BE 20 MPA MINIMUM UNLESS NOTED OTHERWISE (EXCEPT BLINDING CONCRETE - MINIMUM 15 MPA). ALL FOOTING PADS ARE TO BE FOUNDED ON SOIL OF 100KPA MINIMUM AND MUST BE OF THE MINIMUM SIZE SHOWN ON THE WORKING DRAWINGS. IF 100 KPA BEARING CAPACITY CANNOT BE ACHIEVED, CONSULT WITH THE ENGINEER BEFORE PROCEEDING. ALL EXCAVATIONS TO BE CLEAN AND DRY BEFORE POURING CONCRETE AND APPROVAL OF BUILDING AUTHORITY OBTAINED.

ALL CONCRETE TO BE ACCURATELY FORMED TO THE DIMENSIONS SHOWN ON THE DRAWINGS WITH NO ALLOWANCE FOR FINISHES. REINFORCEMENT SHOULD BE INSPECTED BY COUNCIL OR A PRIVATE CERTIFIER AS ARRANGED BY THE BUILDER. FORMWORK IS TO REMAIN IN PLACE FOR A MINIMUM OF SEVEN (7) DAYS.

CONCRETE IS TO BE MECHANICALLY VIBRATED FREE OF AIR VOIDS DURING PLACEMENT TAKING CARE NOT TO DISPLACE THE REINFORCEMENT.

CONTINUOUSLY CURE CONCRETE BY PONDING OR OTHER APPROVED METHOD FOR 7 DAYS AFTER THE POURING.

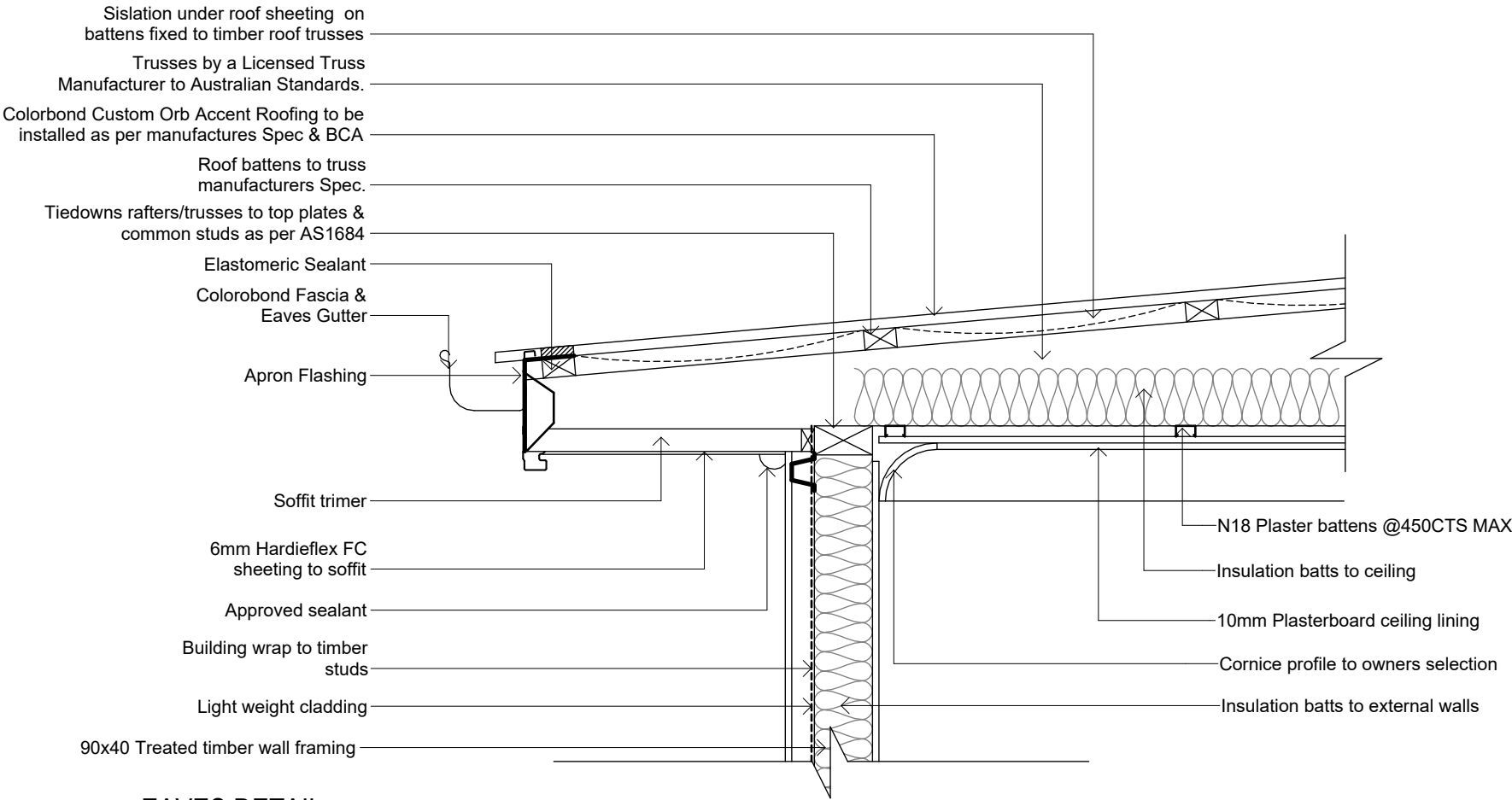
ALL REINFORCEMENT TO BE ACCURATELY PLACED AND WIRED INTO POSITION, TAKING CARE NOT TO PUNCTURE THE WATERPROOF MEMBRANE WHERE SPECIFIED. SUPPORT ALL REINFORCEMENT ON BAR CHAIRS AT 1200 MM CTRS. WIRE FABRIC TO COMPLY WITH AS1304 WITH MINIMUM LAPS OF 225MM. LAPS AT SPLICES TO BE 500MM MINIMUM UNLESS SPECIFIED OTHERWISE.

U.N.O STRUCTURAL AND REINFORCED BRICKWORK MUST BE CONSTRUCTED FROM BRICKS OF MINIMUM COMPRESSIVE STRENGTH 40 MPA, AND CONFORM TO THE REQUIREMENTS OF AS3700 SAA MASONRY CODE. ALL BED AND PROPEL JOINTS SHALL BE SOLIDLY FILLED WITH MORTAR, WITHOUT FURROWING, TO A MAXIMUM THICKNESS OF 10MM. JOINTS SHALL BE NOT LESS THAN 6MM. U.N.O. ALL MASONRY WALLS ARE TO BE TIED TO STRUCTURAL MEMBERS OR BUTTING WALLS, EVERY 2ND COURSE FOR BLOCKWORK, AND EVERY 4TH COURSE FOR BRICKWORK. HORIZONTAL SPACING SHALL BE 600MM MAXIMUM STAGGERED. ALL DEFINED CAVITIES SHALL BE KEPT FREE OF MORTAR AND OR DROPPINGS. EXPANSION JOINTS SHALL BE LOCATED 6000MM MAXIMUM CTRS AND 470MM FROM THE CORNERS, AT THE APPROXIMATE LOCATIONS SHOWN ON THE DRAWINGS.

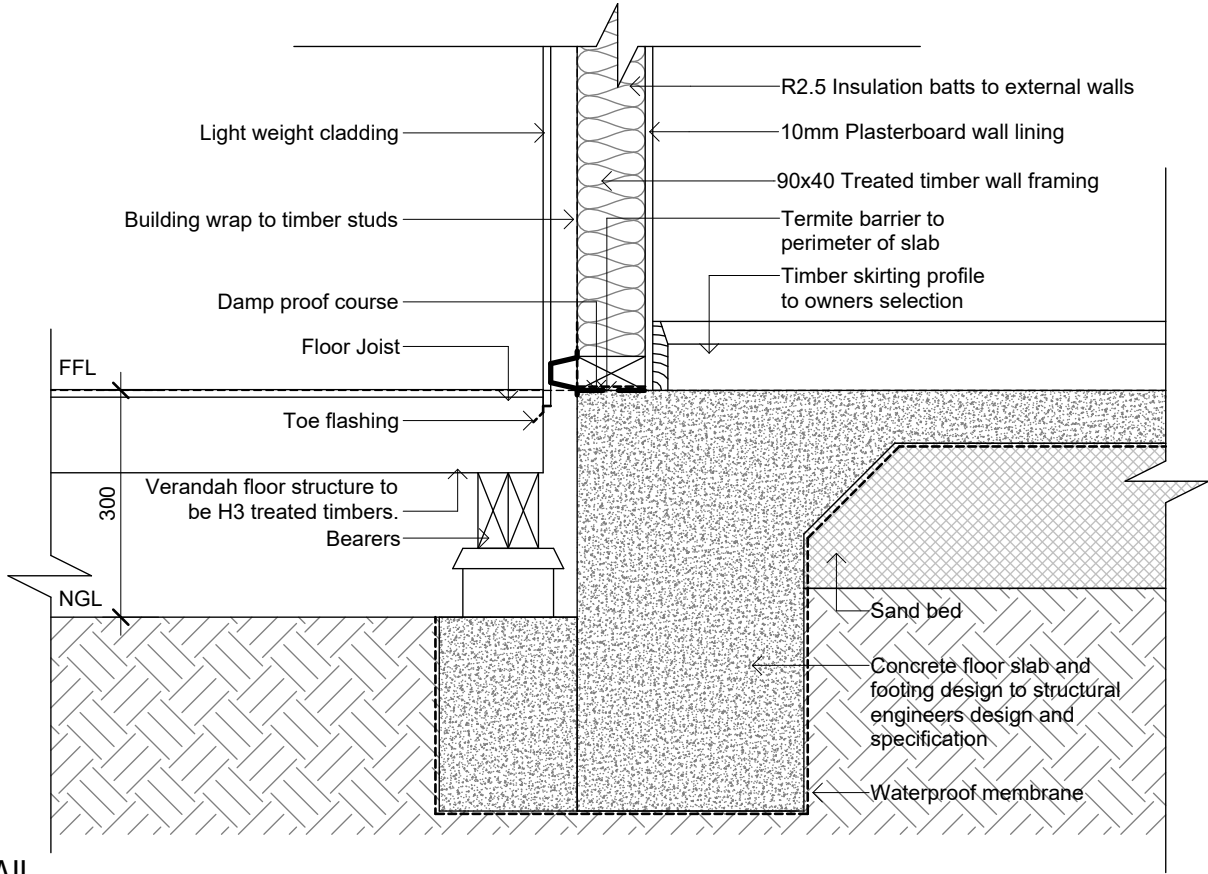
## CONSTRUCTION DRAWINGS

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PROPOSED NEW HOUSE			
53 MCCROSSIN AVENUE, BIRRONG NSW 2143			
FOR	MCKENZIE	DRAWN BY	BP
PROJECT NO	23027	DESIGN	CUSTOM

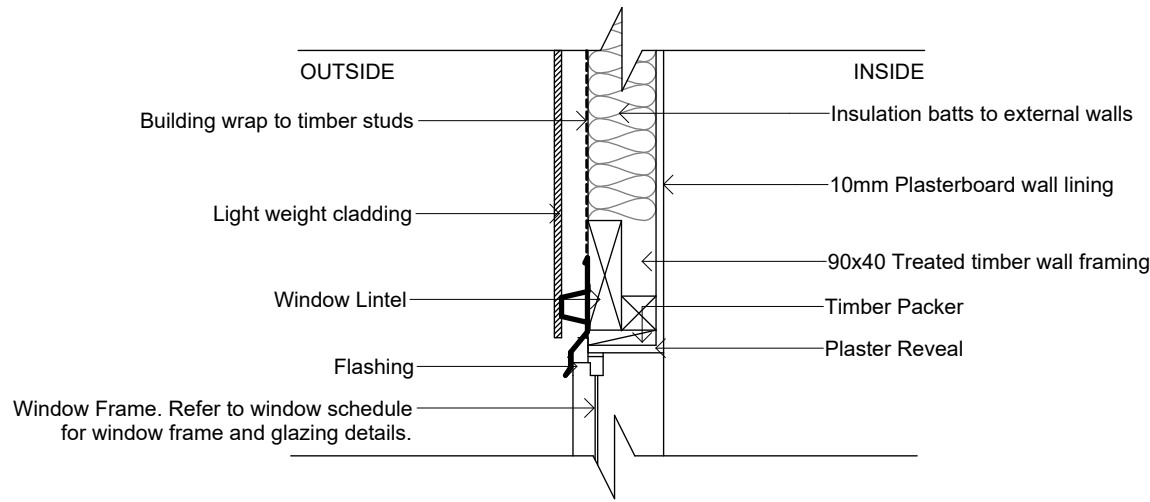
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SCALE  As indicated @ A3	DRAWING NO.  <b>CD15</b>	REV  <b>D</b>



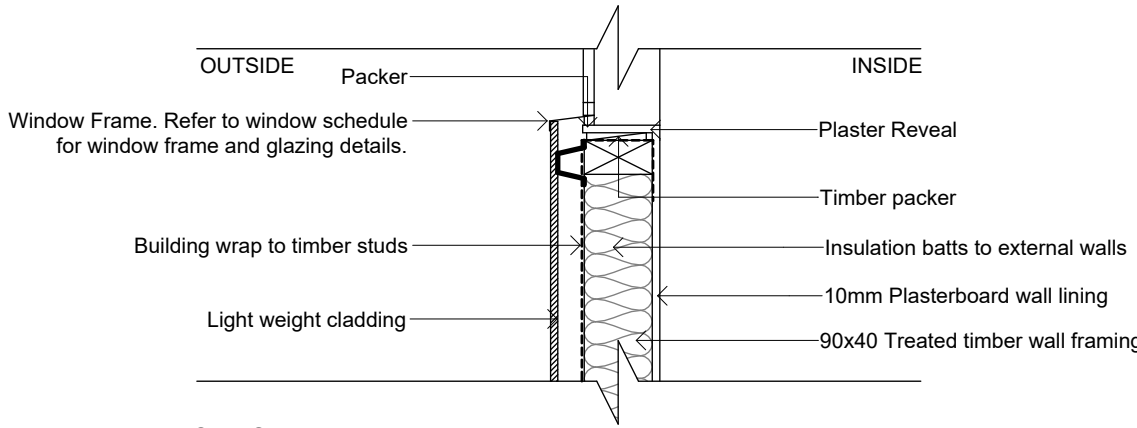
1 EAVES DETAIL  
SCALE 1 : 10 @ A3



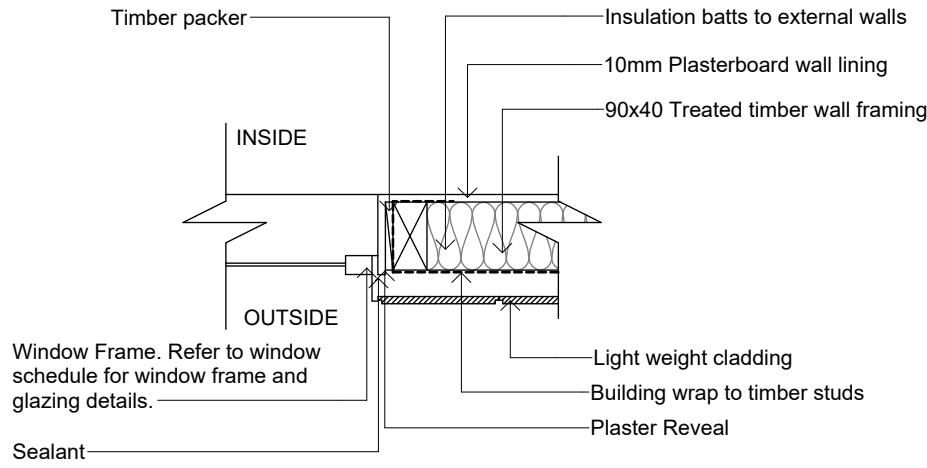
2 FOOTING DETAIL  
SCALE 1 : 10 @ A3



3 WINDOW HEAD DETAIL  
SCALE 1 : 10 @ A3



4 WINDOW SILL DETAIL  
SCALE 1 : 10 @ A3



5 WINDOW JAMB DETAIL  
SCALE 1 : 10 @ A3

FLOOD AFFECTED  
CONSTRUCTION DRAWINGS



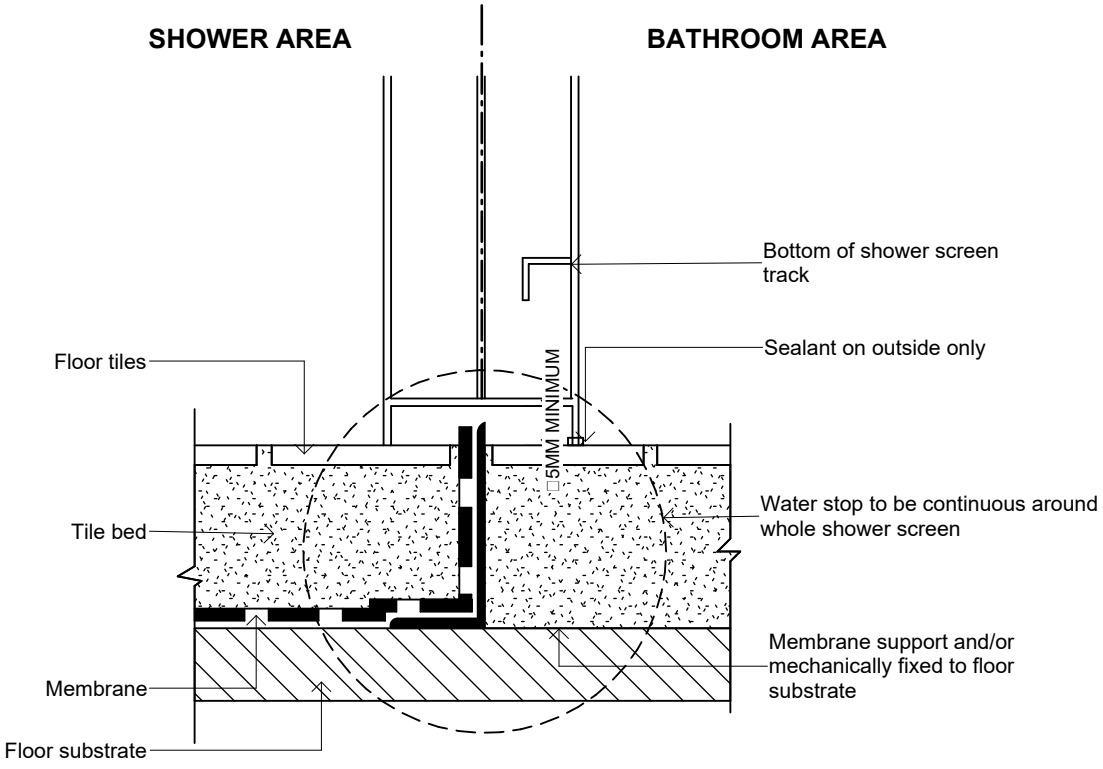
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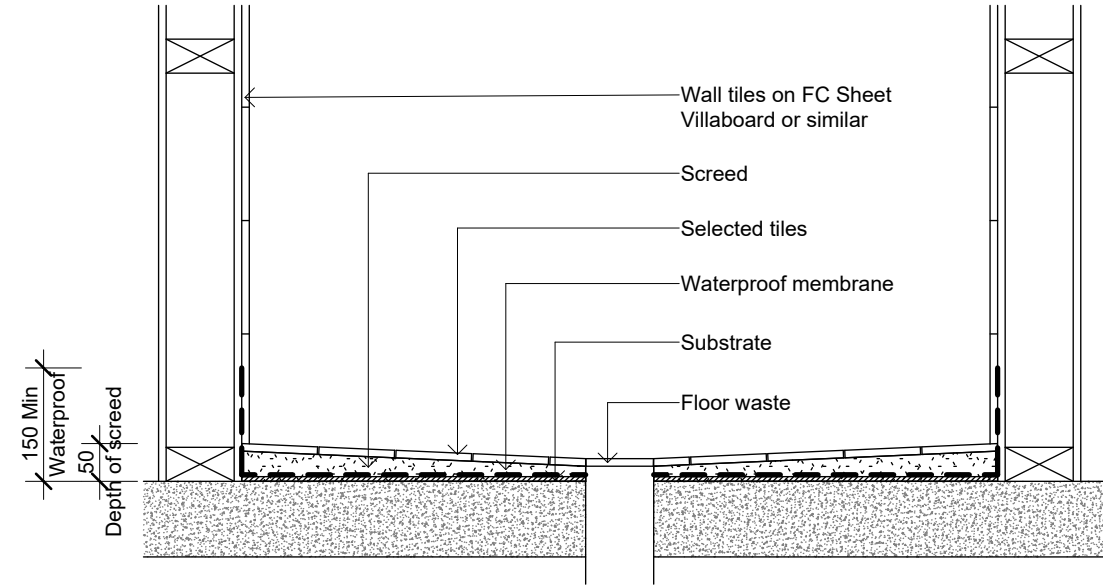
PROJECT PROPOSED NEW HOUSE 53 MCCROSSIN AVENUE, BIRRONG NSW 2143			
FOR	MCKENZIE	DRAWN BY	BP
PROJECT NO	23027	DESIGN	CUSTOM

DRAWING TITLE CONSTRUCTION DETAILS 1			
SCALE	DRAWING NO.	REV	
1 : 10 @ A3	CD16	D	

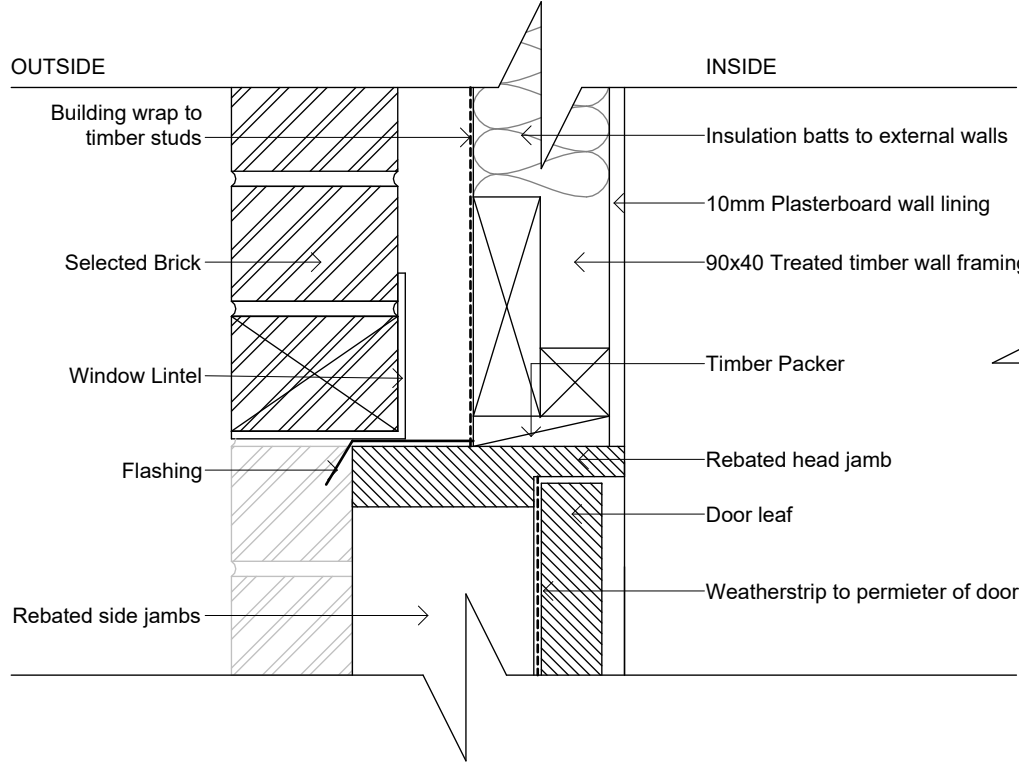




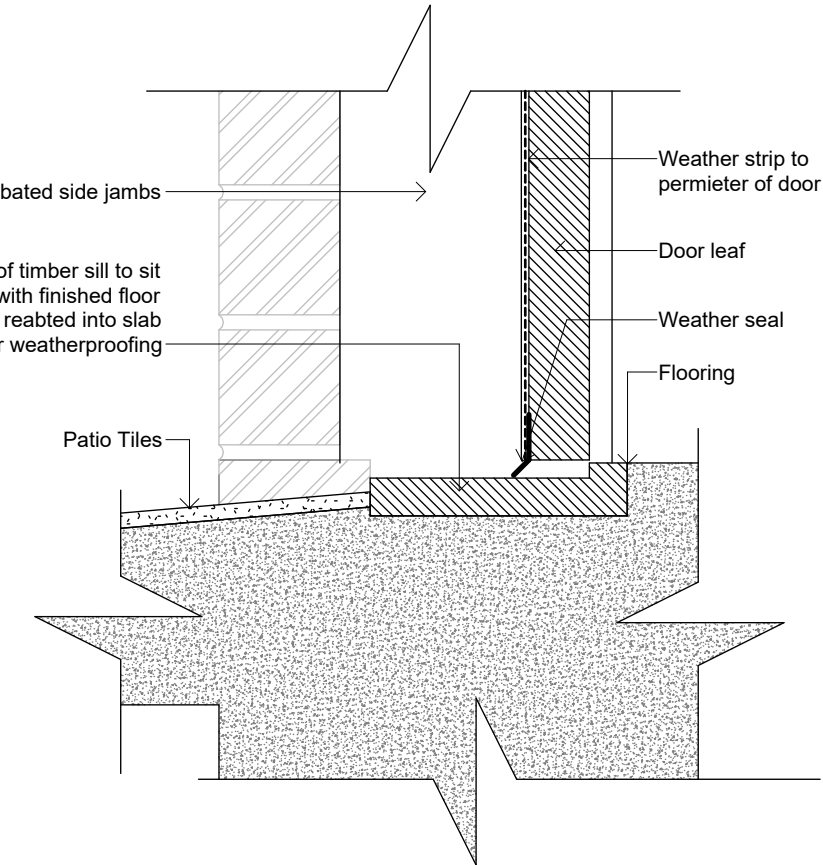
1 TYPICAL HOBLESS SHOWER DETAIL  
SCALE 1 : 25 @ A3



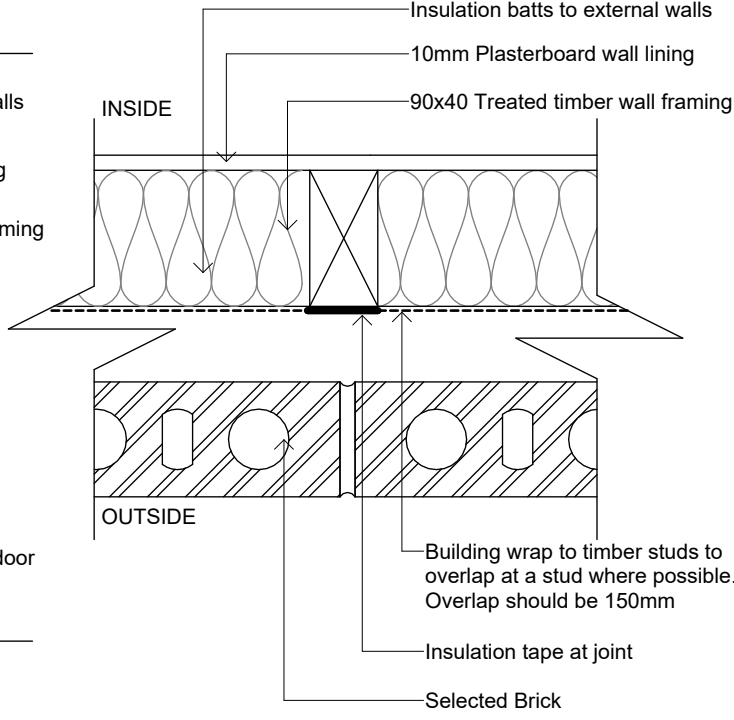
2 SHOWER BASE DETAIL  
SCALE 1 : 10 @ A3



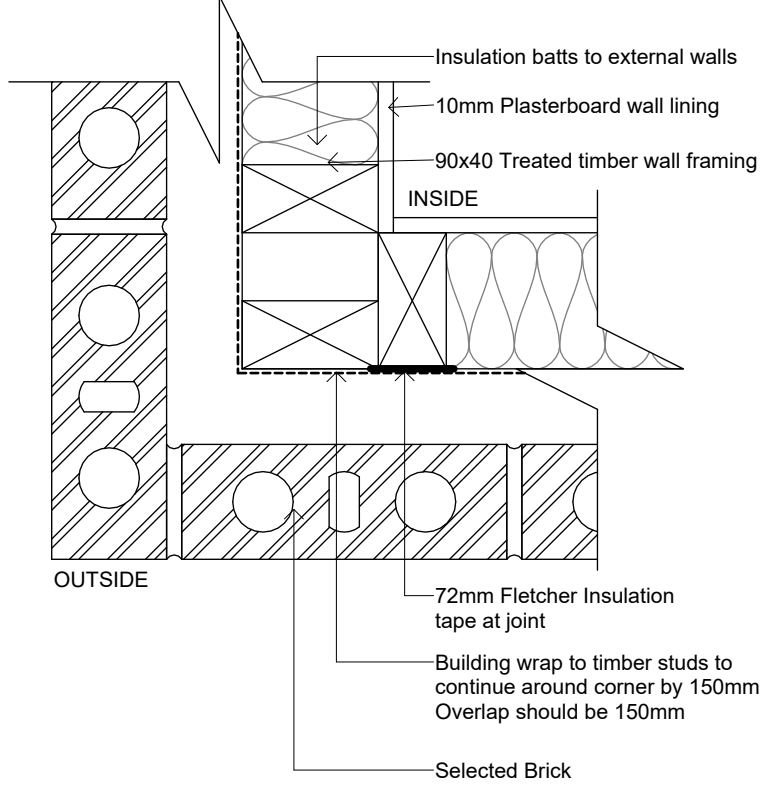
3 BRICK VENEER - EXTERNAL DOOR HEAD DETAIL  
SCALE 1 : 5 @ A3



4 BRICK VENEER - EXTERNAL DOOR THRESHOLD DETAIL  
SCALE 1 : 5 @ A3





5 BRICK VENEER - EXTERNAL WALL AIRTIGHT DETAIL  
SCALE 1 : 5 @ A3

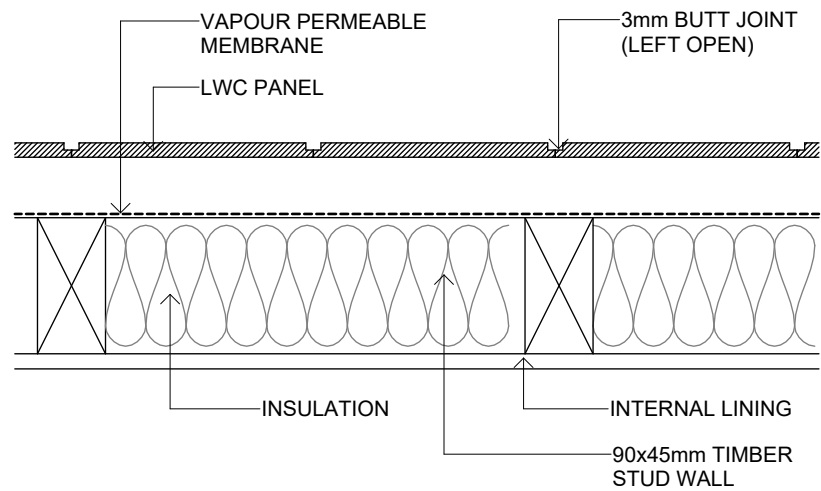


6 BRICK VENEER - EXT. CORNER WALL AIRTIGHT DETAIL  
SCALE 1 : 5 @ A3

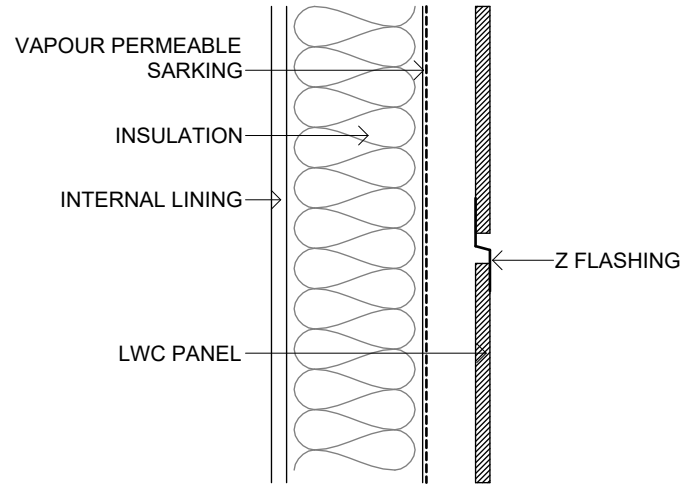
**NOTE:** Affix building wrap with galvanised staples/metal fixings every 150mm. Top layer of building wrap to overlap with bottom layer of building wrap by 150mm. Tape all building wrap joints.

**FLOOD AFFECTED**  
CONSTRUCTION DRAWINGS

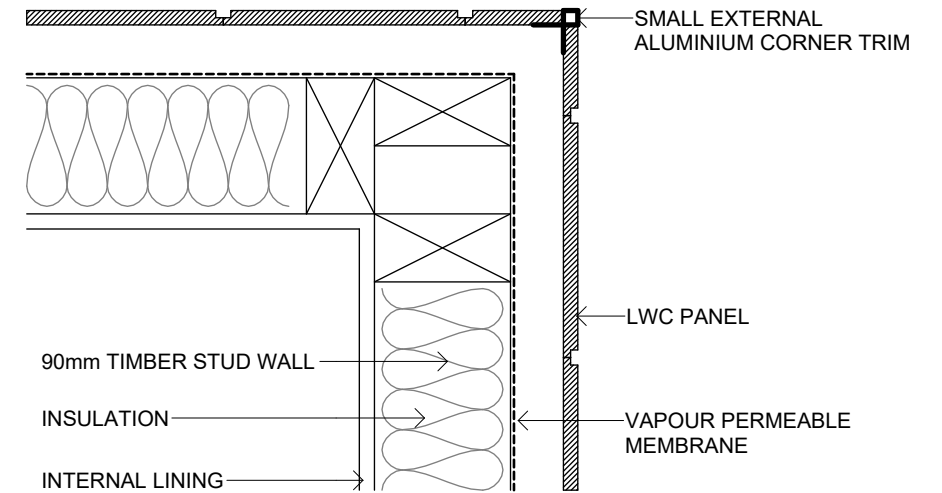
		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.		<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th></tr><tr><td>A</td><td>30/01/2024</td><td>CONSTRUCTION DRAWINGS ISSUE</td></tr><tr><td>C</td><td>15/03/2024</td><td>ADJUSTMENTS AS PER REQUEST DATED 21/02/24 &amp; 11/03/24</td></tr><tr><td>D</td><td>21/05/2024</td><td>CHANGES</td></tr></table>	REV	DATE	DESCRIPTION	A	30/01/2024	CONSTRUCTION DRAWINGS ISSUE	C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24	D	21/05/2024	CHANGES	PROJECT PROPOSED NEW HOUSE 53 MCCROSSIN AVENUE, BIRRONG NSW 2143		DRAWING TITLE CONSTRUCTION DETAILS 2	
		REV	DATE	DESCRIPTION																
		A	30/01/2024	CONSTRUCTION DRAWINGS ISSUE																
		C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24																
		D	21/05/2024	CHANGES																
FOR MCKENZIE		DRAWN BY BP		SCALE As indicated @ A3	DRAWING NO. CD17	REV D														
PROJECT NO 23027		DESIGN CUSTOM																		



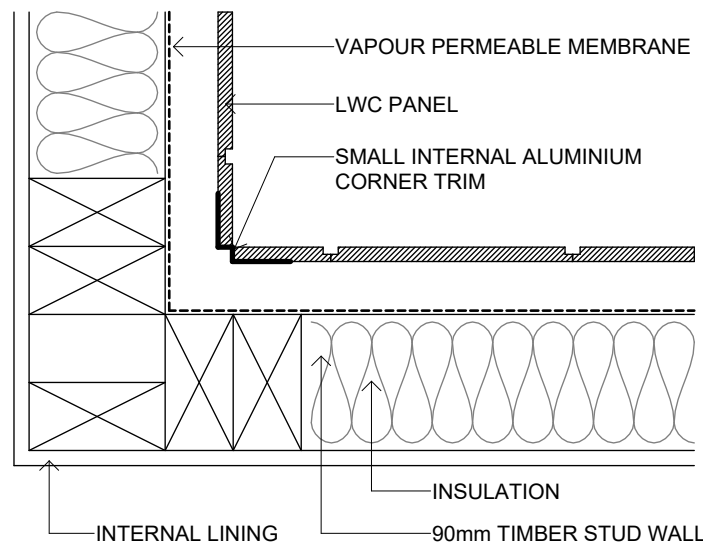
ON STUD BUTT JOINT DETAIL



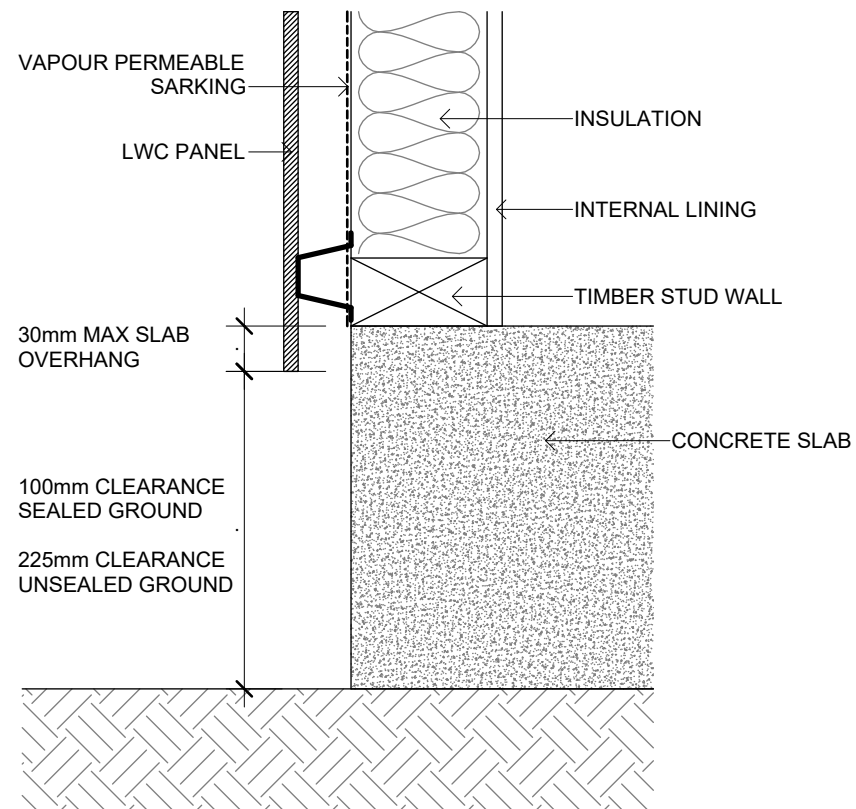
Z FLASHING JOIN DETAIL



SMALL EXTERNAL "BOX" CORNER DETAIL


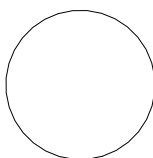


SMALL INTERNAL "W" CORNER DETAIL



CONCRETE SLAB GROUND  
CLEARANCE DETAIL

**FLOOD AFFECTED**  
CONSTRUCTION DRAWINGS

		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.			PROJECT				DRAWING TITLE				
					PROPOSED NEW HOUSE				LIGHTWEIGHT CLADDING CONSTRUCTION DETAILS				
					53 MCCROSSIN AVENUE, BIRRONG NSW 2143								
					FOR MCKENZIE		DRAWN BY BP		SCALE		DRAWING NO.	REV	
					PROJECT NO 23027		DESIGN CUSTOM		1 : 5 @ A3		CD18	D	
					REV		DATE		DESCRIPTION				
					A		30/01/2024		CONSTRUCTION DRAWINGS ISSUE				
					C		15/03/2024		ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24				
					D		21/05/2024		CHANGES				

WINDOW SCHEDULE						
NUMBER	WINDOW STYLE	HEIGHT	WIDTH	FRAMING MATERIAL	GLAZING	NOTES
W01	Fixed	2100	500	Aluminium	Double Glazed	
W02	Awning	2040	800	Aluminium	Double Glazed	
W03	Awning	1800	2000	Aluminium	Double Glazed	
W04	Awning	1800	2000	Aluminium	Double Glazed	
W05	Awning	1800	2000	Aluminium	Double Glazed	
W06	Awning	1800	2000	Aluminium	Double Glazed	
W07	Awning	1000	1500	Aluminium	Double Glazed	
W08	Awning	1000	1500	Aluminium	Double Glazed	
W09	Awning	1000	600	Aluminium	Double Glazed	
W10	Awning	500	1000	Aluminium	Double Glazed	
W11	Awning	1000	600	Aluminium	Double Glazed	
W12	Awning	1000	1500	Aluminium	Double Glazed	
W13	Awning	1000	1500	Aluminium	Double Glazed	
W14	Awning	1000	600	Aluminium	Double Glazed	
W15	Awning	500	1500	Aluminium	Double Glazed	Automated
W16	Awning	500	1500	Aluminium	Double Glazed	Automated
W17	Awning	500	1500	Aluminium	Double Glazed	Automated
W18	Awning	500	1500	Aluminium	Double Glazed	Automated
W19	Fixed	700	1500	Aluminium	Double Glazed	
W20	Fixed	500	2000	Aluminium	Double Glazed	
W21	Skylight	720	568	Aluminium	Double Glazed	
W32	Awning	1200	1500	Aluminium	Double Glazed	
W33	Awning	500	1000	Aluminium	Double Glazed	
W34	Awning	1200	1500	Aluminium	Double Glazed	
W35	Awning	2040	2000	Aluminium	Double Glazed	
W36	Awning	500	1000	Aluminium	Double Glazed	

DOOR SCHEDULE					
NUMBER	HEIGHT	WIDTH	FINISH	FRAME MATERIAL	COMMENTS
D01	2040	920	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D02	2100	5000	Powdercoat	Aluminium	Garage Sectional Door
D03	2040	870	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D04	2040	870	Paint	Timber	Solid Core, Flush Panel, Caivty Slider
D05	2040	870	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D06	2068	1056	Paint	Timber	Solid Core, Double Barn Door
D07	2040	870	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D08	2040	870	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D09	2100	2000	Powdercoat	Aluminium	Cavity Sliding Glazed Door
D10	2040	870	Paint	Timber	Solid Core, Flush Panel, Caivty Slider
D11	2040	820	Paint	Timber	Solid Core, Flush Panel, Caivty Slider
D12	2040	980	Paint	Aluminium	Robe Slider
D13	2100	2000	Powdercoat	Aluminium	Glazed Sliding Door
D14	2040	2180	Powdercoat	Aluminium	Robe Slider
D15	2040	870	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D16	2040	2180	Powdercoat	Aluminium	Robe Slider
D17	2040	870	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D18	2040	820	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D35	2040	820	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D36	2040	820	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D38	2040	820	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D39	2040	820	Paint	Timber	Solid Core, Flush Panel, Hinged Door
D41	2100	1800	Powdercoat	Aluminium	Glazed Sliding Door
D42	2060	940	Paint	Timber	Bi Fold Door
D43	2040	1780	Powdercoat	Aluminium	Robe Slider
D44	2040	1780	Powdercoat	Aluminium	Robe Slider

WINDOWS, GLAZED DOORS AND SKYLIGHTS:

THE APPLICANT MUST INSTALL ALL WINDOWS, GLAZED DOORS AND SHADING DESCRIBED IN THE TABLE, IN ACCORDANCE WITH THE SPECIFICATIONS LISTED IN THE TABLE. RELEVANT OVERSHADOWING SPECIFICATIONS MUST BE FOR EACH WINDOW AND GLAZED DOOR.

THE DWELLING MAY HAVE 1 SKYLIGHT (LESS THAN 0.7 SQUARE METERS) AND UP TO 2 WINDOWS/GLAZED DOORS (LESS THAN 0.7 SQUARE METERS) WHICH ARE NOT LISTED IN THE TABLE.

THE FOLLOWING REQUIREMENTS MUST ALSO BE SATISFIED IN RELATION TO EACH WINDOW AND GLAZED DOOR:

EXCEPT WHERE THE GLASS IS "SINGLE CLEAR" OR "SINGLE TONED" THE U-VALUE AND SHGC FOR ALL WINDOWS AND GLAZED DOORS MUST BE CALCULATED IN ACCORDANCE WITH AUSTRALIAN NATIONAL AVERAGE CONDITIONS (ANAC).

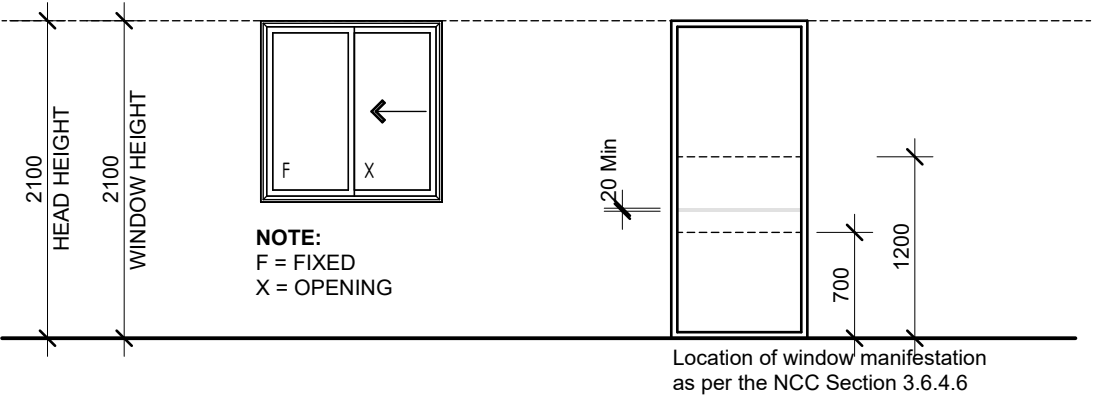
THE LEADING EDGE OF EACH EAVES, PERGOLA, VERANDAH BALCONY OR AWNING MUST BE NO MORE THAN 500 MILLIMETERS ABOVE THE HEAD OF THE WINDOW OR GLAZED DOOR, EXCEPT THAT A PROJECTION GREATER THAN 500MM AND UP TO 1500MM ABOVE THE HEAD MUST BE TWICE THE VALUE.

PERGOLAS WITH POLYCARBONATE ROOF OR SIMILAR TRANSLUCENT MATERIAL MUST HAVE A SHADING COEFFICIENT OF LESS THAN 0.35. PERGOLAS WITH FIXED BATTENS MUST HAVE BATTENS PARALLEL TO THE WINDOW OR GLAZED DOOR ABOVE WHICH THEY ARE SITUATED, UNLESS THE PERGOLA ALSO SHADES A PERPENDICULAR WINDOW. THE SPACING BETWEEN BATTENS MUST NOT BE MORE THAN 50MM.


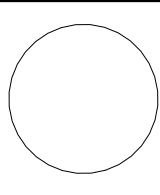
LEGEND

DESIGNED IN ACCORDANCE WITH BCA  
- FLASHING TO WALL OPENINGS 3.5.3.6  
- GLAZING & WINDOW ASSEMBLIES - 3.6.0

BUILDER TO CONFIRM SIZES ON SITE BEFORE ORDERING  
DOORS & WINDOWS

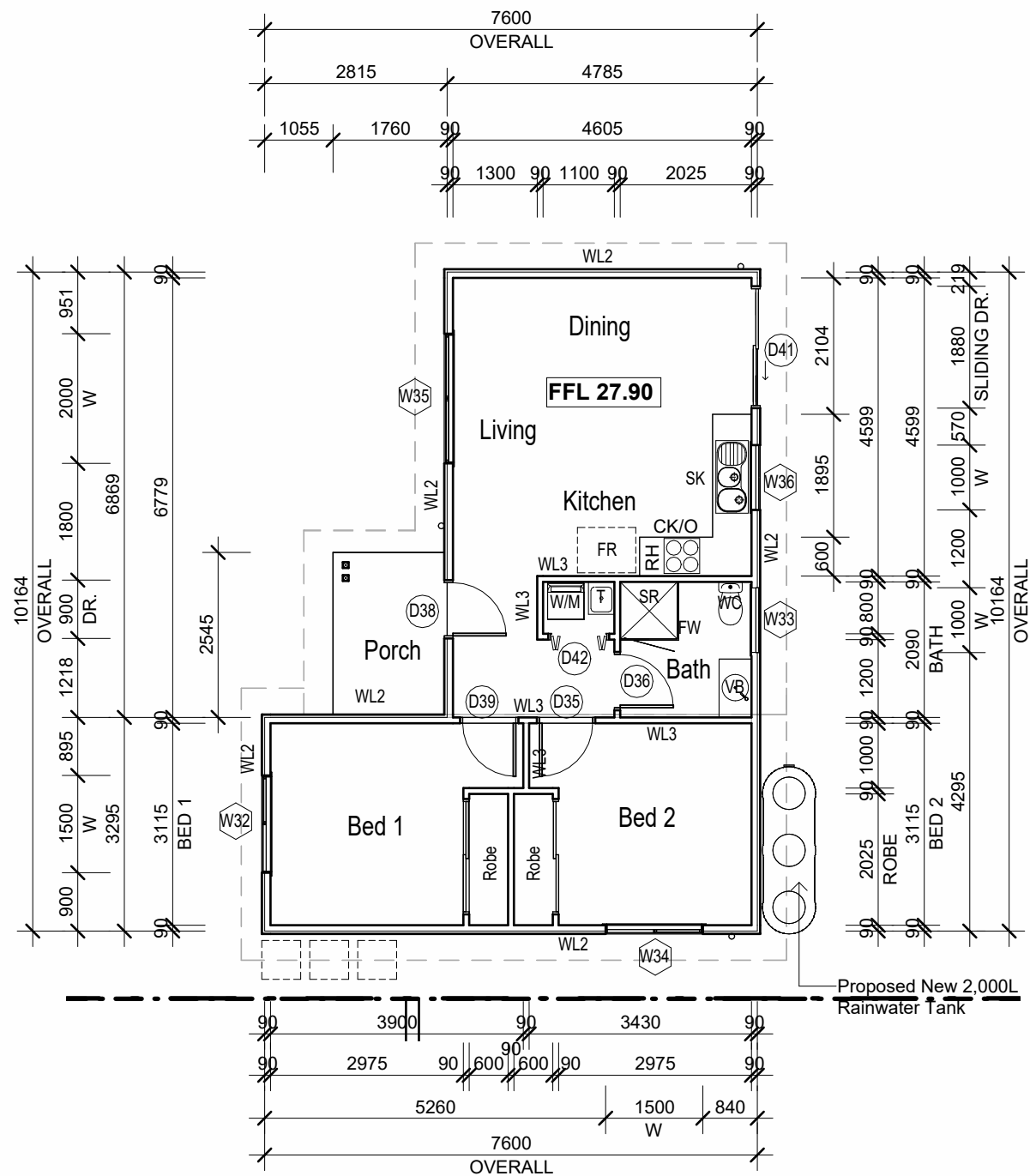


FLOOD AFFECTED  
CONSTRUCTION DRAWINGS

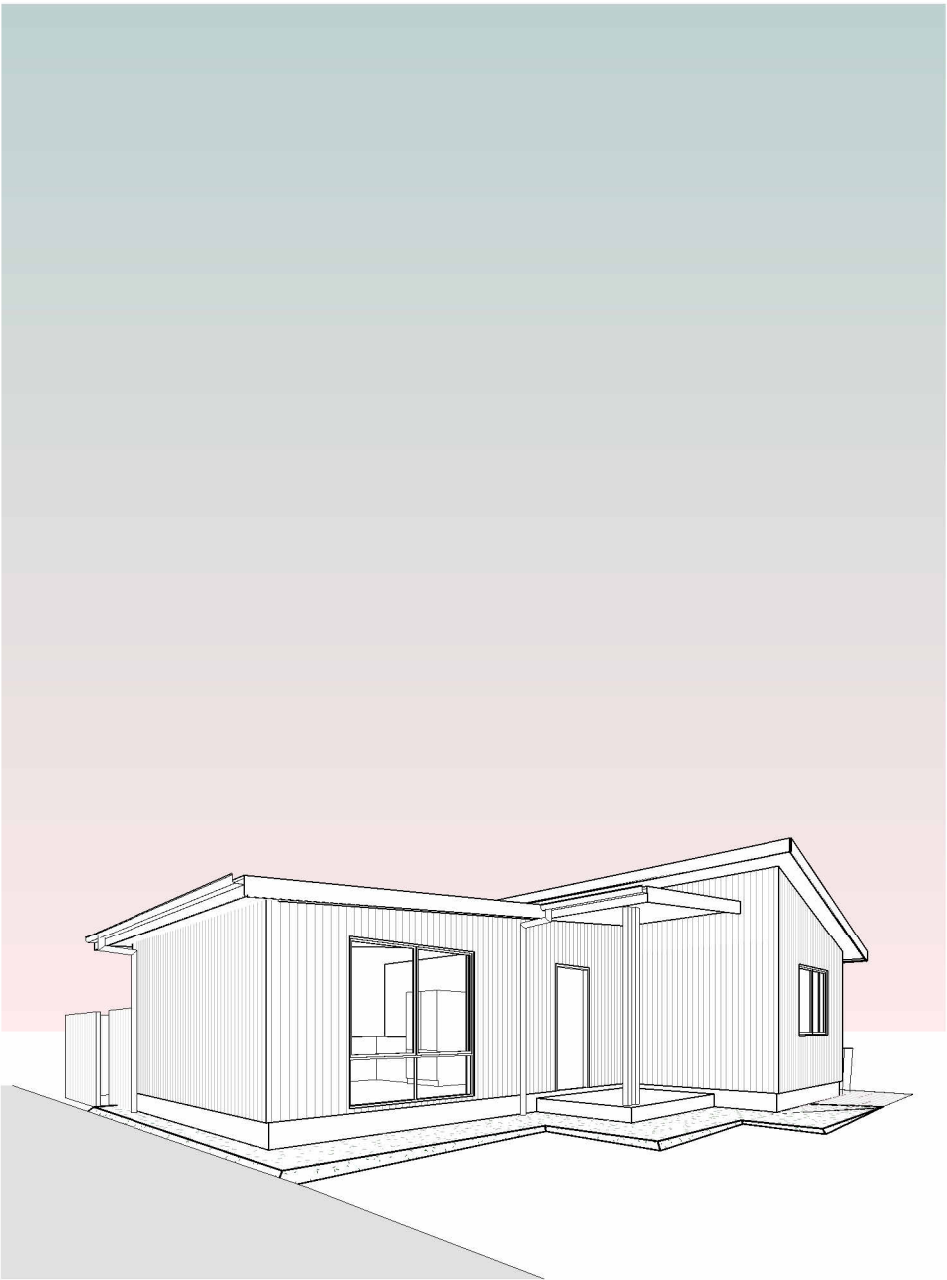
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					FOR MCKENZIE	DRAWN BY BP	SCALE 1 : 50 @ A3	DRAWING NO. CD19	REV D
					PROJECT NO 23027	DESIGN CUSTOM			



GRANNY FLAT AREA	
Living	59 m²
Porch	4 m²
Grand total	64 m²

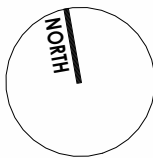


1 FLOOR PLAN - GRANNY FLAT PROPOSED  
SCALE 1 : 100 @ A3



6 3D View - Granny Flat  
SCALE @ A3

FLOOD AFFECTED  
CONSTRUCTION DRAWINGS



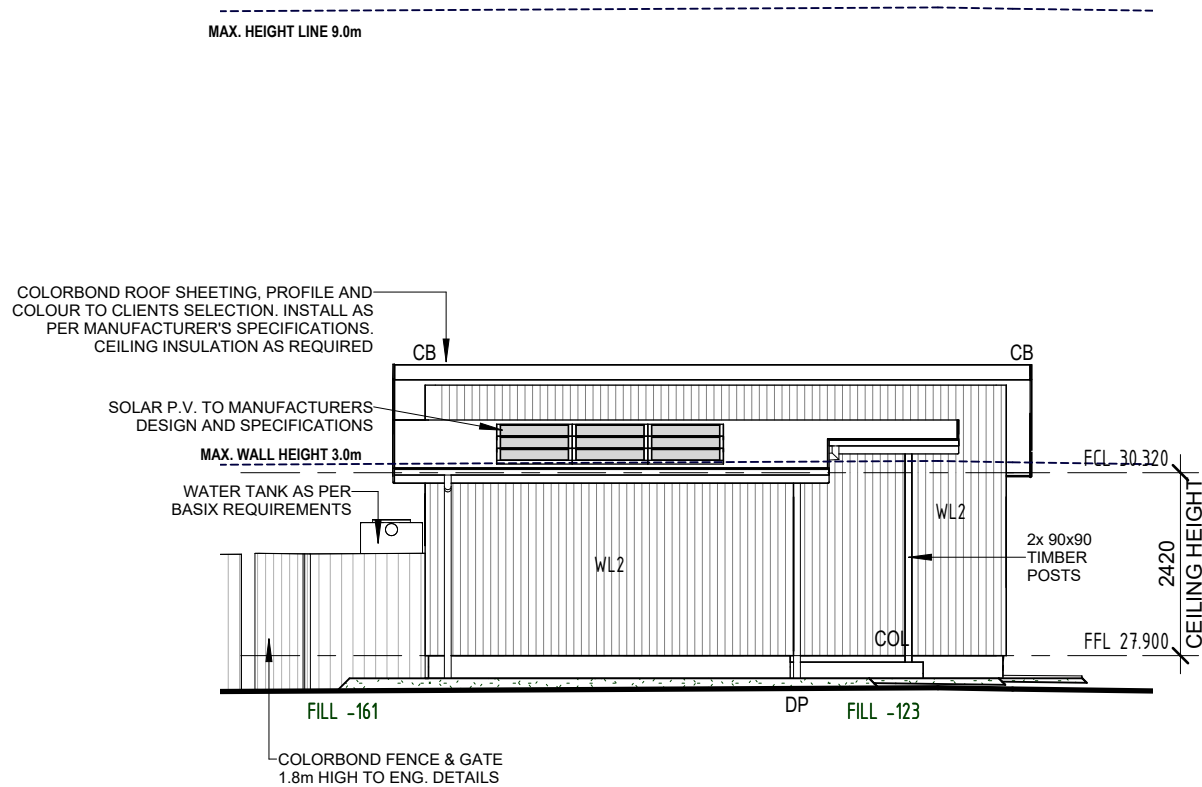
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REV	DATE	DESCRIPTION
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C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24
D	21/05/2024	CHANGES

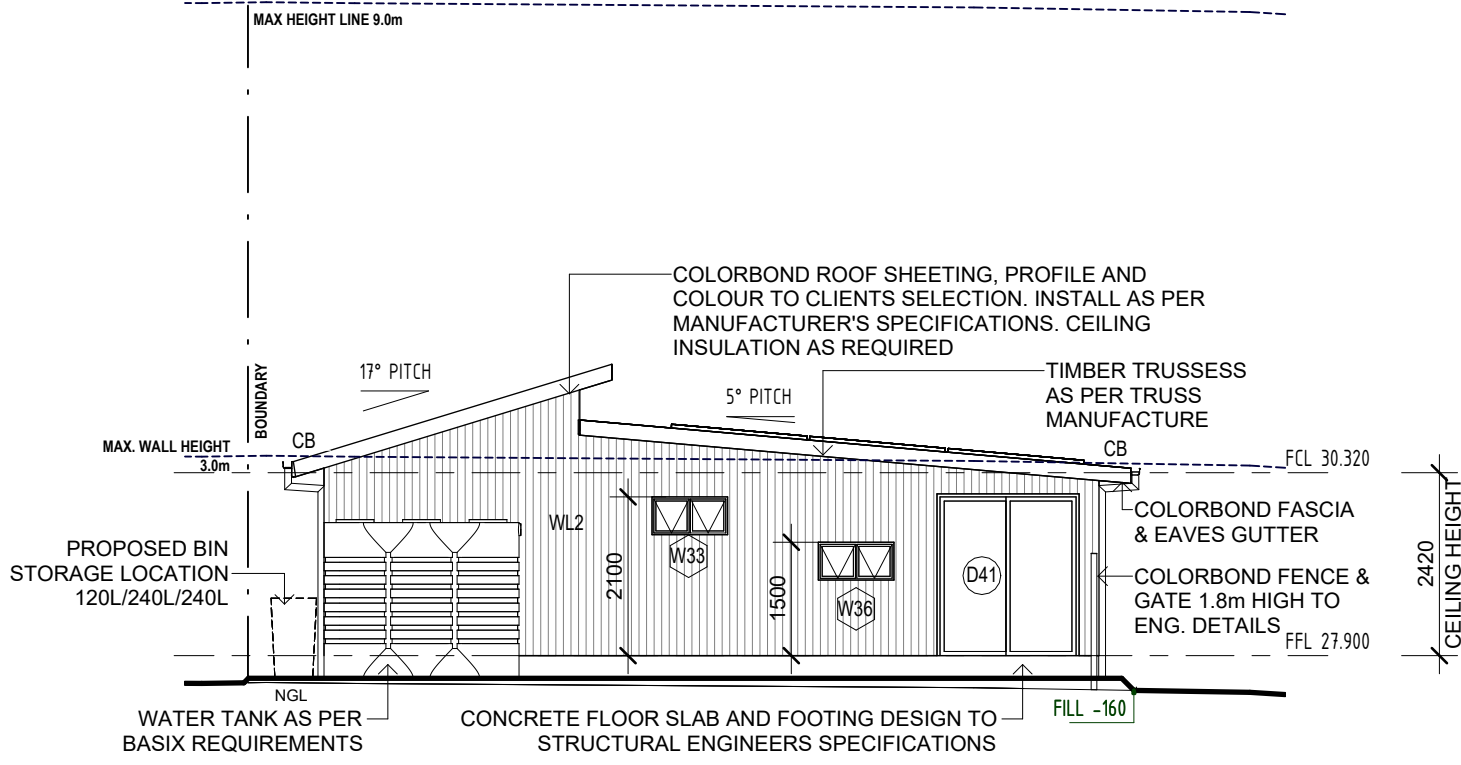
PROJECT PROPOSED NEW HOUSE 53 MCCROSSIN AVENUE, BIRRONG NSW 2143			
FOR	MCKENZIE	DRAWN BY	BP
PROJECT NO	23027	DESIGN	CUSTOM

DRAWING TITLE GRANNY FLAT - PROPOSED		
SCALE	DRAWING NO.	REV
1 : 100 @ A3	CD20	D





2 NORTH ELEVATION - GRANNY FLAT PROPOSED  
SCALE 1 : 100 @ A3



1 EAST ELEVATION - GRANNY FLAT PROPOSED  
SCALE 1 : 100 @ A3

FLOOD AFFECTED  
CONSTRUCTION DRAWINGS



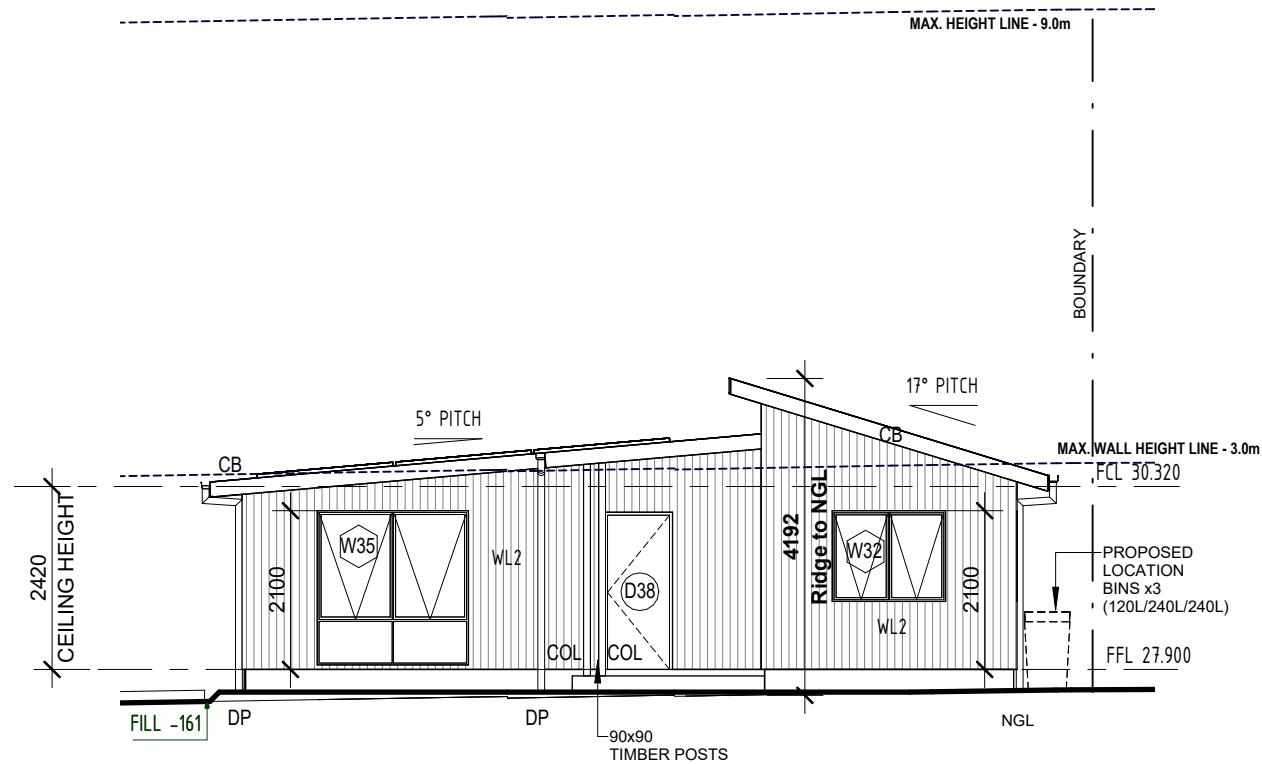
NORTH

ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.

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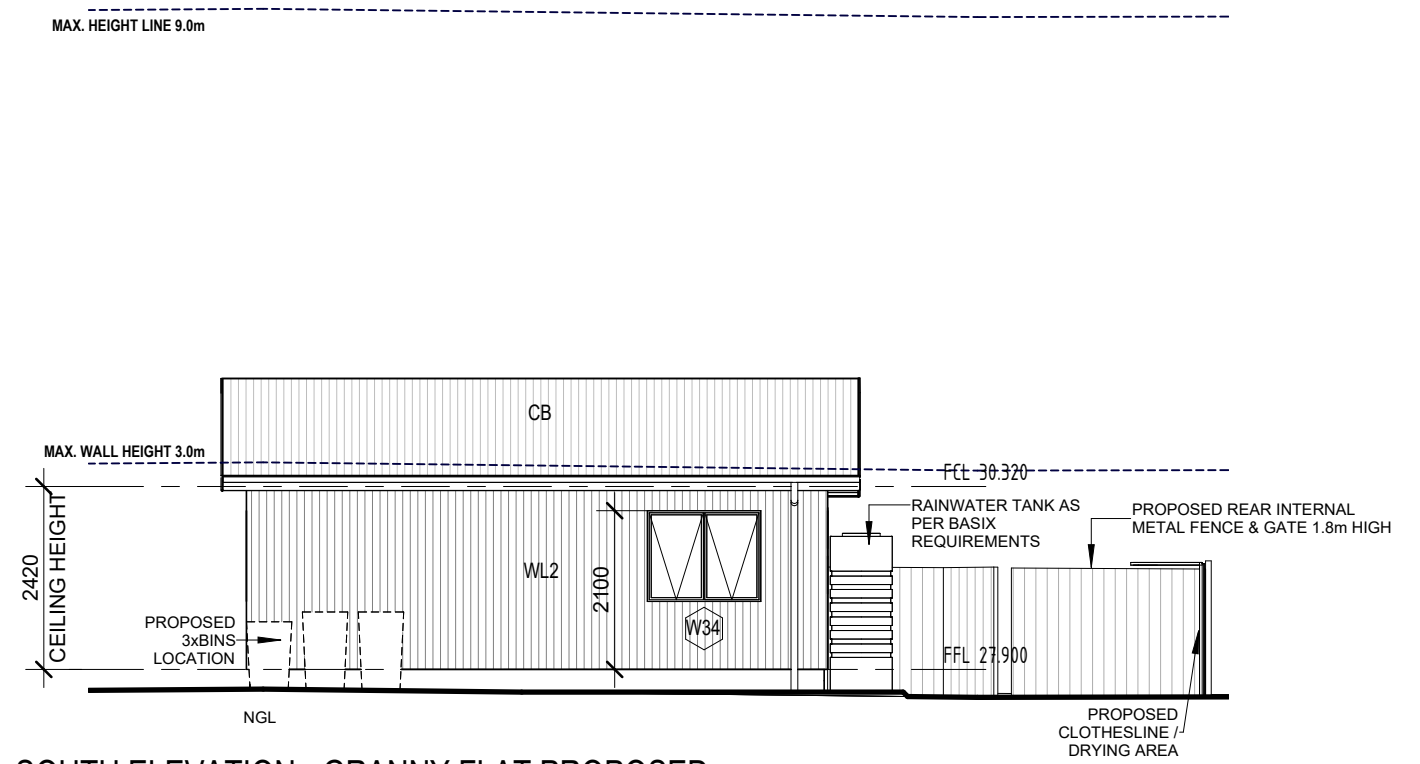
PROJECT			
PROPOSED NEW HOUSE			
53 MCCROSSIN AVENUE, BIRRONG NSW 2143			
FOR	MCKENZIE	DRAWN BY	BP
PROJECT NO	23027	DESIGN	CUSTOM

DRAWING TITLE		
GRANNY FLAT - PROPOSED ELEVATIONS 1		
SCALE	DRAWING NO.	REV
1 : 100 @ A3	CD21	D



2 WEST ELEVATION - GRANNY FLAT PROPOSED

SCALE 1 : 100 @ A3

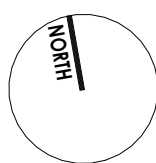


1 SOUTH ELEVATION - GRANNY FLAT PROPOSED

SCALE 1 : 100 @ A3

FLOOD AFFECTED

CONSTRUCTION DRAWINGS



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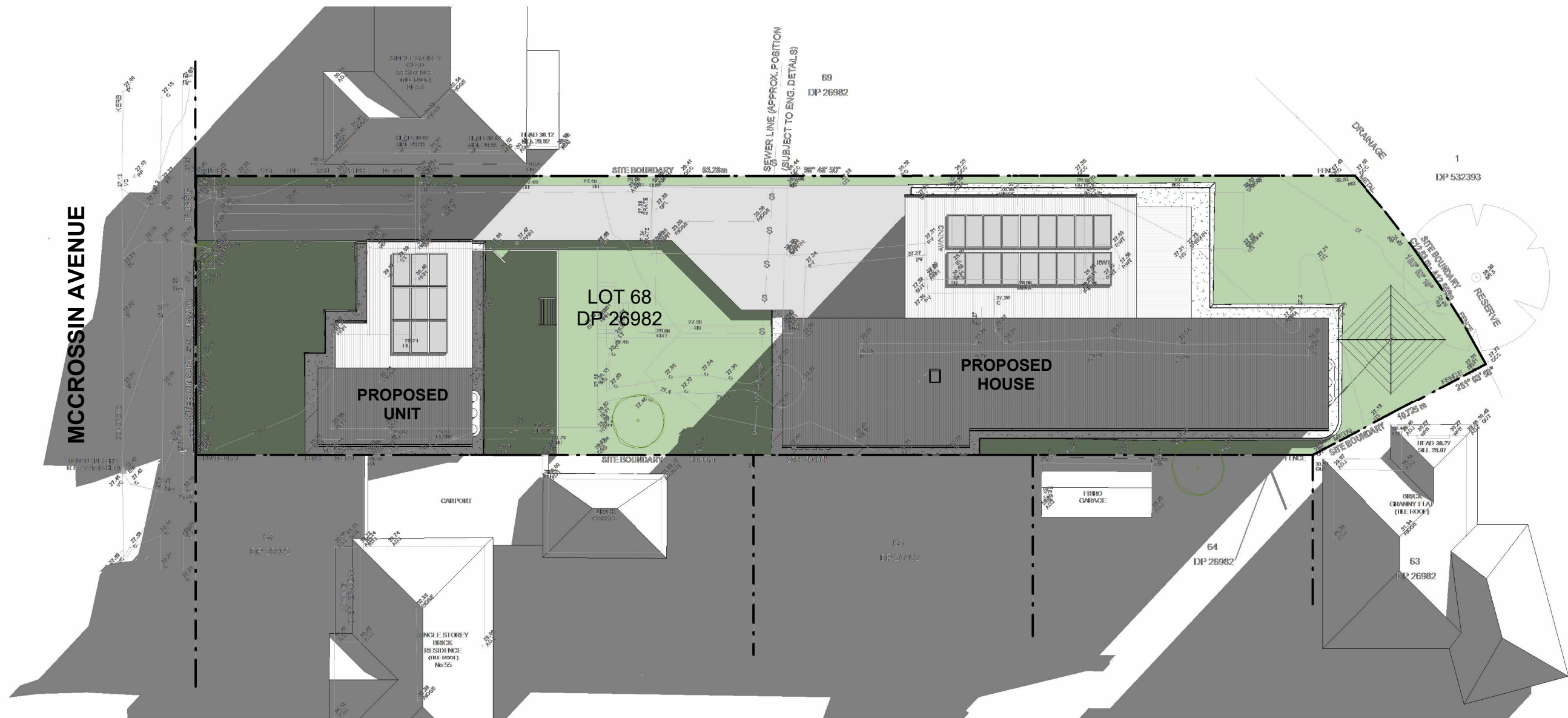
REV	DATE	DESCRIPTION
A	30/01/2024	CONSTRUCTION DRAWINGS ISSUE
C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24
D	21/05/2024	CHANGES

PROJECT  
PROPOSED NEW HOUSE  
53 MCCROSSIN AVENUE, BIRRONG NSW 2143

FOR	MCKENZIE	DRAWN BY	BP
PROJECT NO	23027	DESIGN	CUSTOM


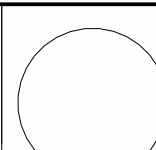
DRAWING TITLE  
GRANNY FLAT - PROPOSED ELEVATIONS 2

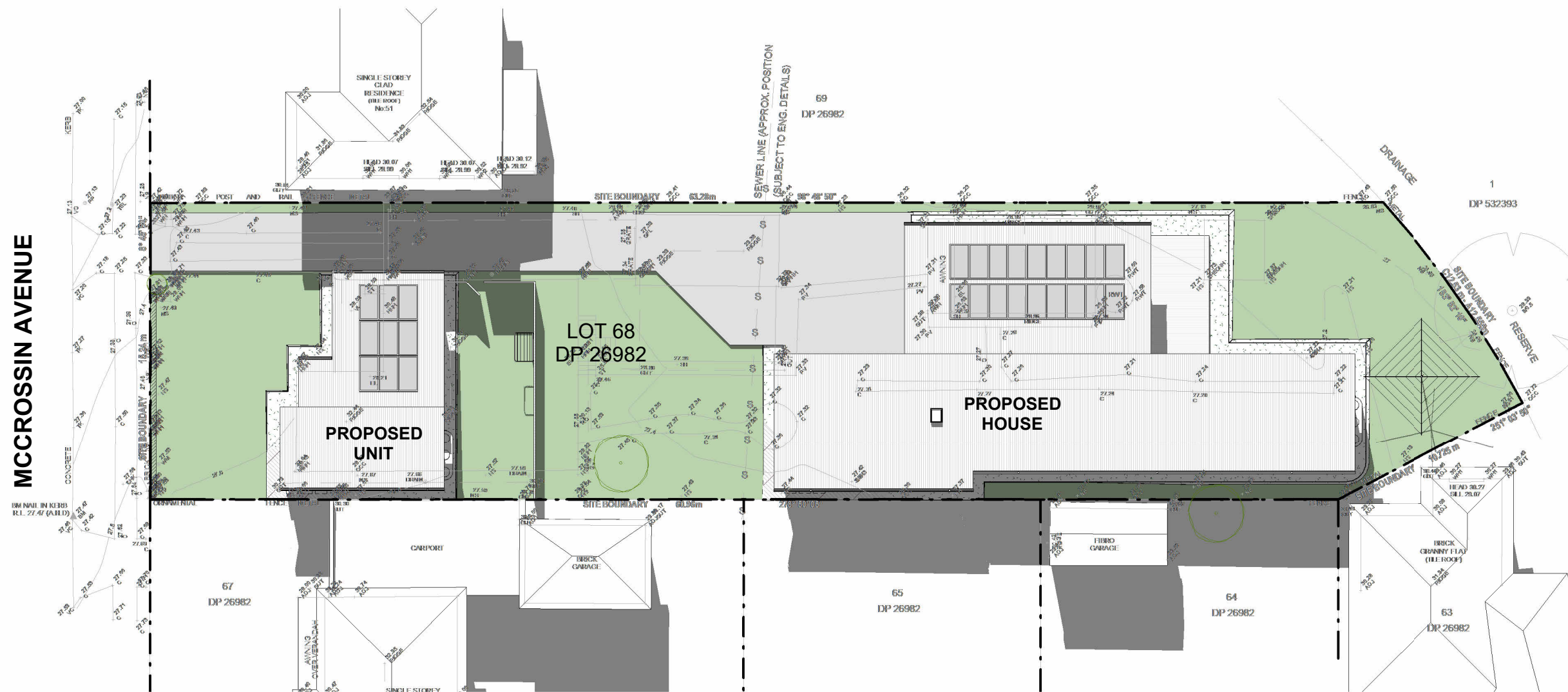
SCALE	DRAWING NO.	REV
1 : 100 @ A3	CD22	D



1 WINTER 21st of JUNE 8am  
SCALE 1 : 250 @ A3


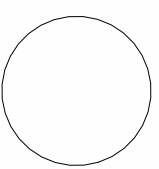
FLOOD AFFECTED  
CONSTRUCTION DRAWINGS

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					PROPOSED NEW HOUSE				SHADOW DIAGRAM - WINTER 21ST OF JUNE 8AM			
					53 MCCROSSIN AVENUE, BIRRONG NSW 2143							
					FOR MCKENZIE		DRAWN BY BP		SCALE		DRAWING NO.	REV
					PROJECT NO 23027		DESIGN CUSTOM		1 : 250 @ A3		CD23	D
					REV	DATE	DESCRIPTION					
					A	30/01/2024	CONSTRUCTION DRAWINGS ISSUE					
					C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24					
					D	21/05/2024	CHANGES					

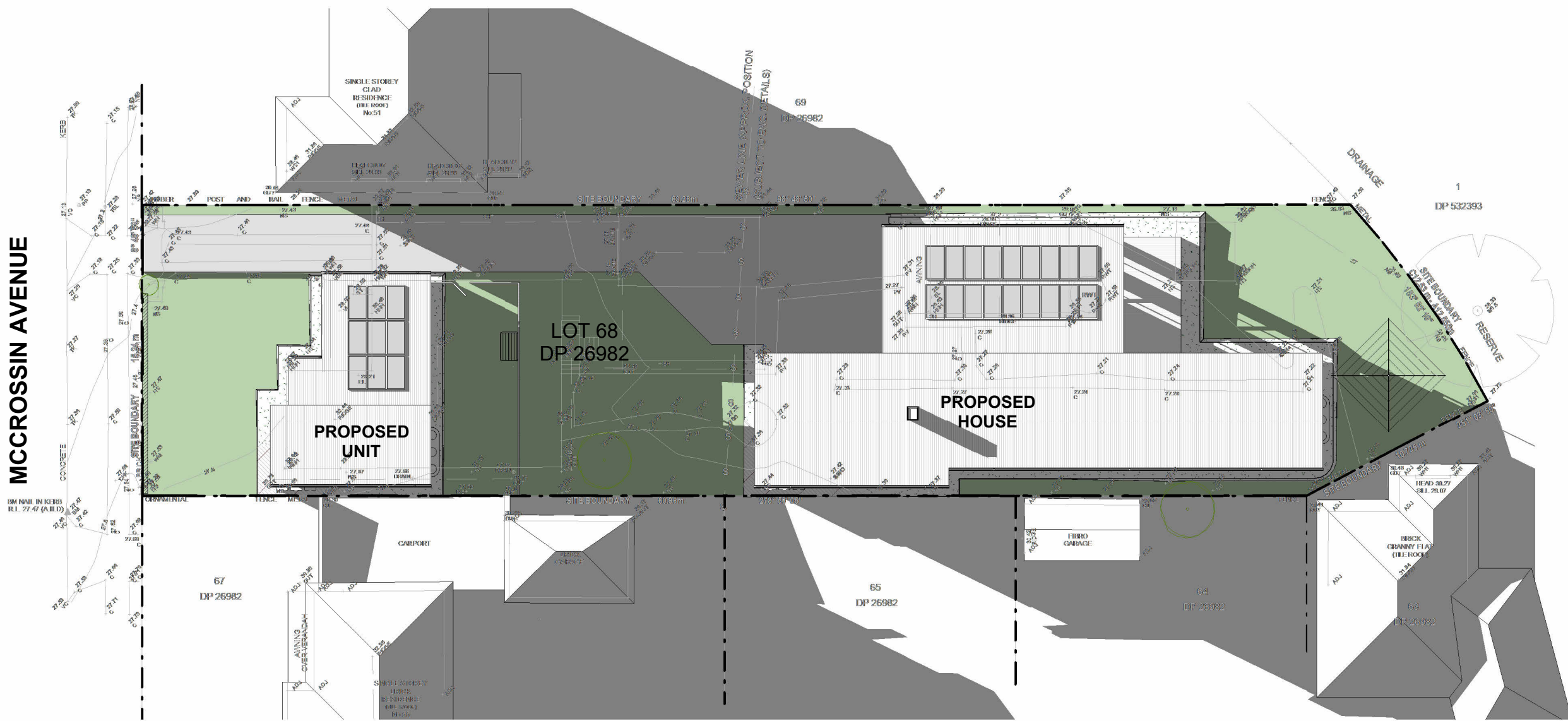


1 WINTER 21st of JUNE 12pm  
SCALE 1 : 250 @ A3

**FLOOD AFFECTED**  
CONSTRUCTION DRAWINGS

		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.			PROJECT				DRAWING TITLE								
					PROPOSED NEW HOUSE				SHADOW DIAGRAM - WINTER 21ST OF JUNE 12PM								
					53 MCCROSSIN AVENUE, BIRRONG NSW 2143												
					FOR		MCKENZIE		DRAWN BY		BP		SCALE		DRAWING NO.		REV
PROJECT NO					23027		DESIGN		CUSTOM		1 : 250 @ A3		CD24		C		





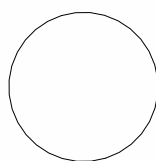
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WINTER 21st of JUNE 4pm

SCALE 1 : 250 @ A3

FLOOD AFFECTED

CONSTRUCTION DRAWINGS



ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.

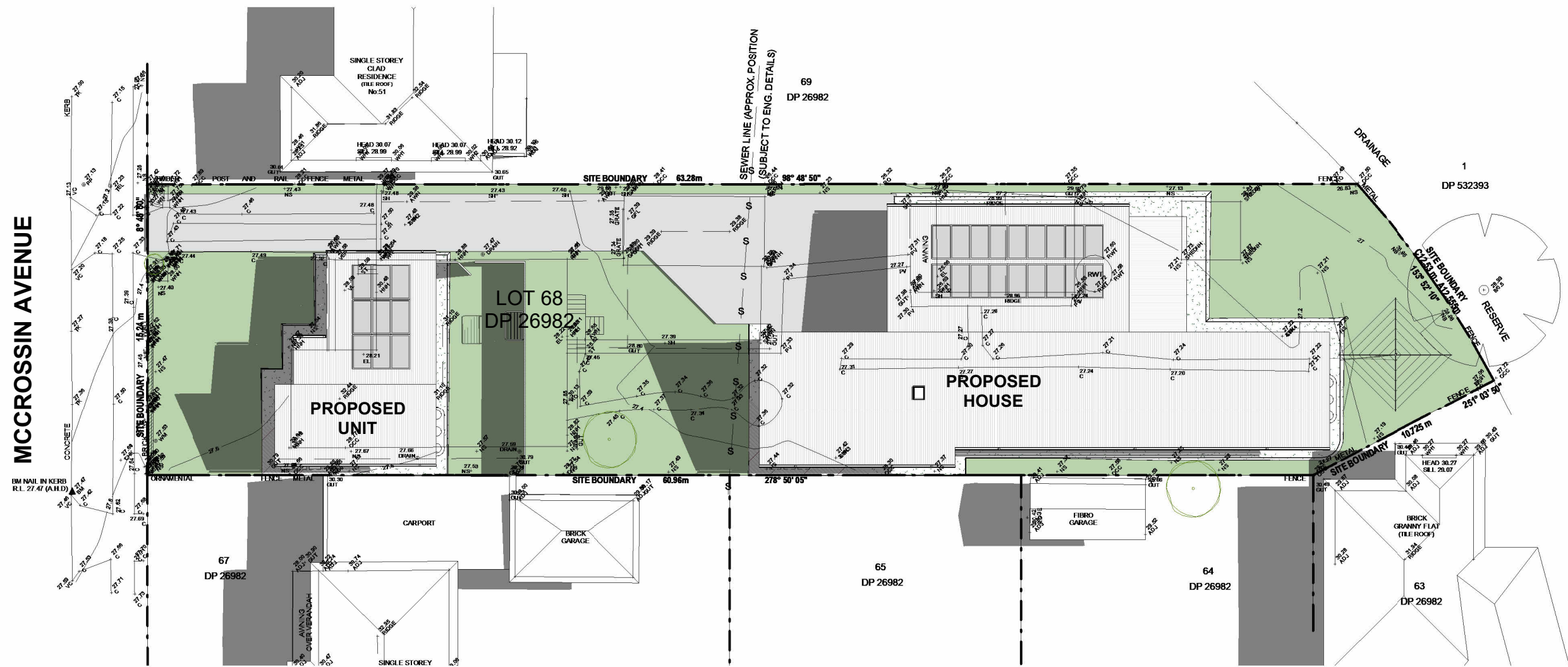
REV	DATE	DESCRIPTION
A	30/01/2024	CONSTRUCTION DRAWINGS ISSUE
C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24
D	21/05/2024	CHANGES

PROJECT  
PROPOSED NEW HOUSE  
53 MCCROSSIN AVENUE, BIRROING NSW 2143

FOR	MCKENZIE	DRAWN BY	BP
PROJECT NO	23027	DESIGN	CUSTOM


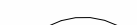
DRAWING TITLE  
SHADOW DIAGRAM - WINTER 21ST OF JUNE 4PM

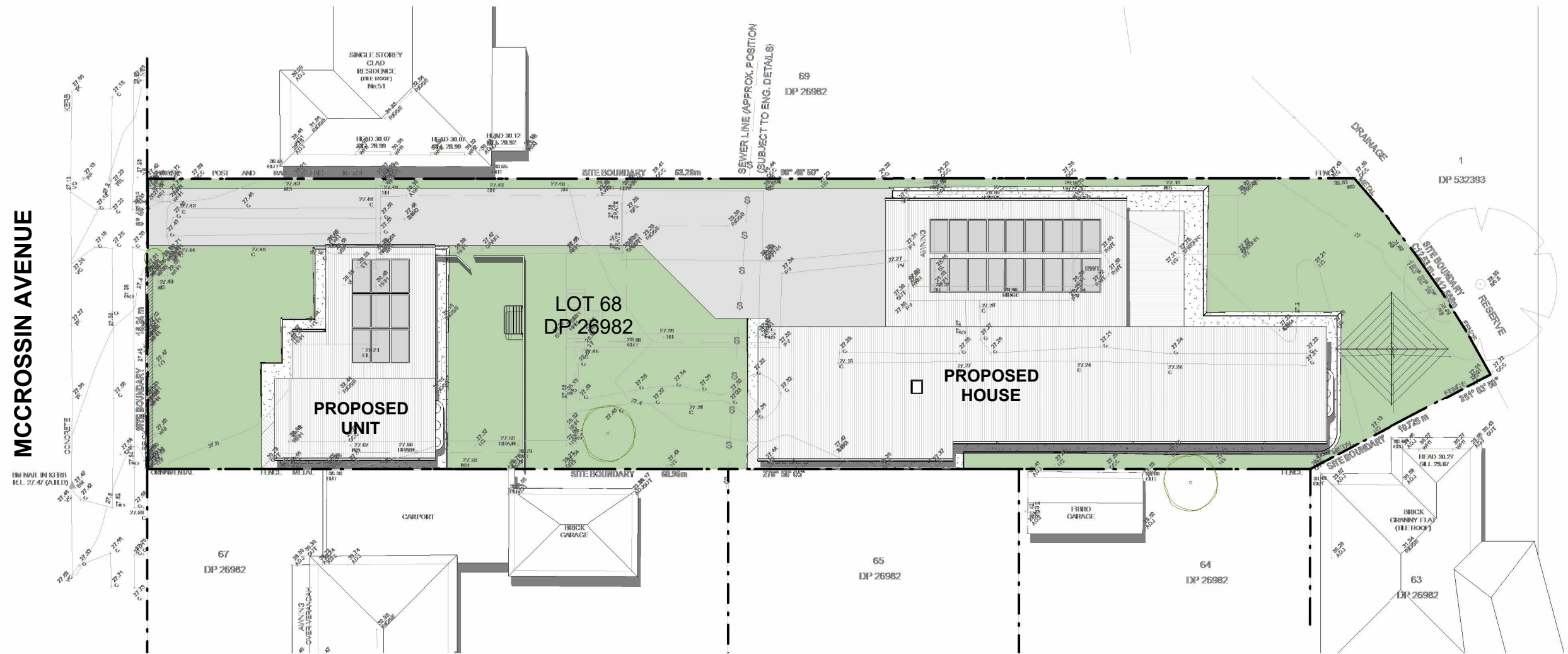
SCALE	DRAWING NO.	REV
1 : 250 @ A3	CD25	D



1 SUMMER 21st of DECEMBER 8am  
SCALE 1 : 250 @ A3


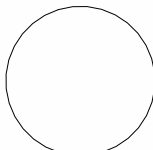
FLOOD AFFECTED  
CONSTRUCTION DRAWINGS

		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.	REV	DATE	DESCRIPTION	PROJECT			DRAWING TITLE				
			A	30/01/2024	CONSTRUCTION DRAWINGS ISSUE	PROPOSED NEW HOUSE			SHADOW DIAGRAM - SUMMER 21ST OF DECEMBER 8AM				
			C	15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24	53 MCCROSSIN AVENUE, BIRRONG NSW 2143							
			D	21/05/2024	CHANGES	FOR MCKENZIE			DRAWN BY BP		SCALE	DRAWING NO.	REV
						PROJECT NO 23027		DESIGN CUSTOM		1 : 250 @ A3		CD26	D

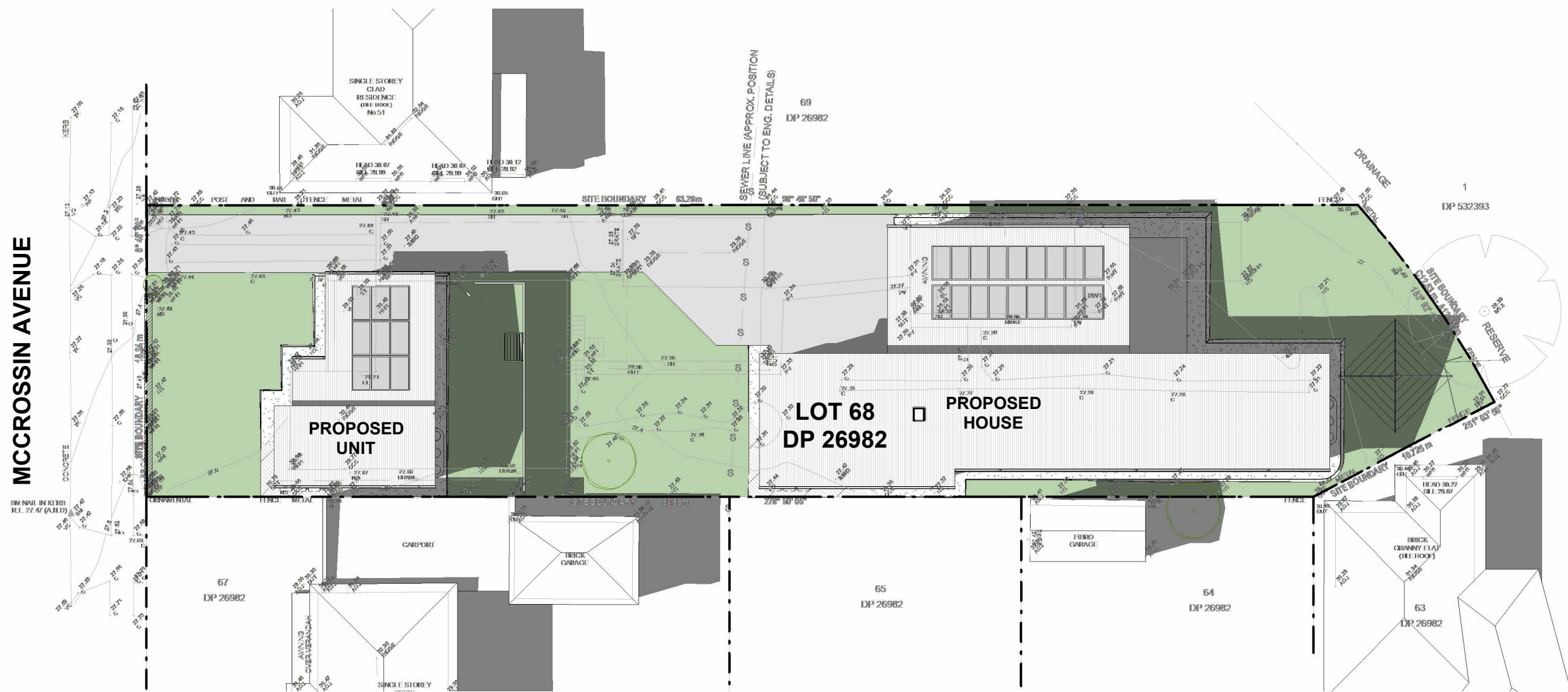


1 SUMMER 21st of DECEMBER 12pm  
SCALE 1 : 250 @ A3

FLOOD AFFECTED  
CONSTRUCTION DRAWINGS


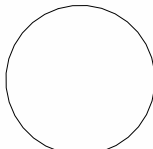
		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.	REV		DATE	DESCRIPTION	PROJECT				DRAWING TITLE										
			A		30/01/2024	CONSTRUCTION DRAWINGS ISSUE	PROPOSED NEW HOUSE				SHADOW DIAGRAM - SUMMER 21ST OF DECEMBER 12PM										
			C		15/03/2024	ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24	53 MCCROSSIN AVENUE, BIRRONG NSW 2143														
			D		21/05/2024	CHANGES															
							FOR		MCKENZIE		DRAWN BY		BP		SCALE		DRAWING NO.		REV		
							PROJECT NO		23027		DESIGN		CUSTOM		1 : 250 @ A3		CD27		D		





1 SUMMER 21st of DECEMBER 4pm  
SCALE 1 : 250 @ A3

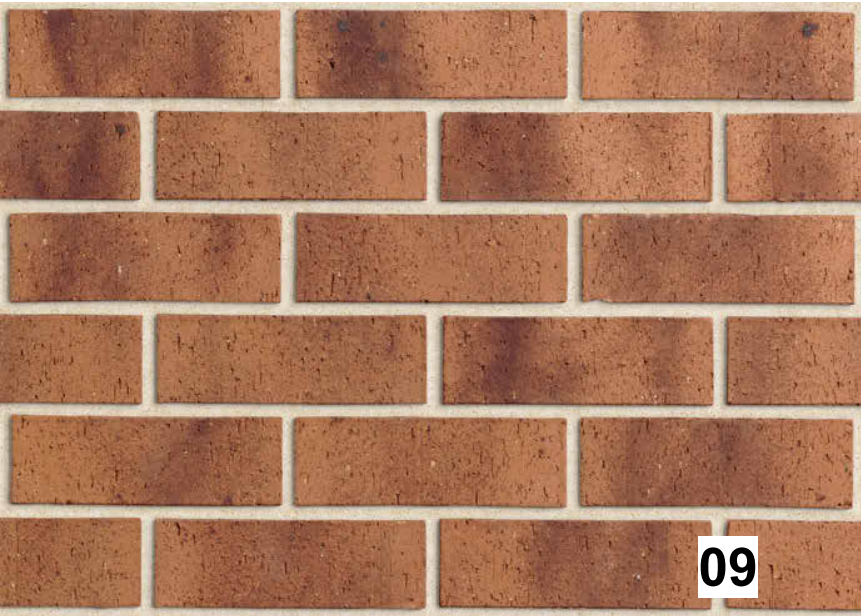
FLOOD AFFECTED  
CONSTRUCTION DRAWINGS

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					PROPOSED NEW HOUSE				SHADOW DIAGRAM - SUMMER 21ST OF DECEMBER 4PM			
					53 MCCROSSIN AVENUE, BIRRONG NSW 2143							
					FOR MCKENZIE		DRAWN BY BP		SCALE		DRAWING NO.	REV
					PROJECT NO 23027		DESIGN CUSTOM		1 : 250 @ A3		CD28	D



# COLOUR AND FINISHES SCHEDULE

No.	Location	Product	Colour and Finish
01	Roof	Custom Orb Colorbond	Surfmist
02	Gutter	Colorbond Quad Gutter	Surfmist
03	Fascia	Colorbond Fascia	White
04	Downpipe	PVC Round	Surfmist
05	Window Frame	Aluminium	White
06	Wall - Cladding	Axon Vertical Cladding	Surfmist
07	Garage Door	Colorbond Slimline	White
08	Column	Timber	White
09	Wall - Bricks	PGH	Red Gum


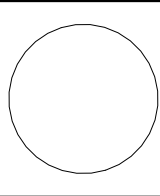


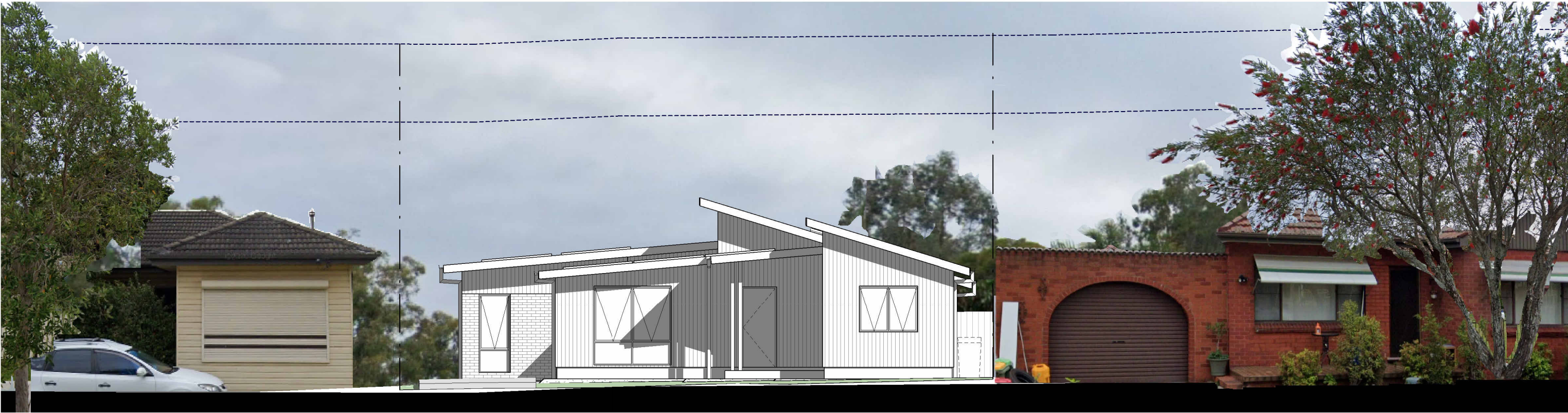
03, 05, 07 & 08

01, 02, 04 & 06

FLOOD AFFECTED



CONSTRUCTION DRAWINGS

		ALL DIMENSIONS TO BE CONFIRMED ON SITE BEFORE ORDERING OR PREFABRICATING WORKS. CLARIFY ANY DISCREPANCIES BEFORE PROCEEDING. DO NOT SCALE FROM DRAWINGS. THESE DESIGNS AND PLANS ARE SUBJECT TO THE COPYRIGHT ACT OF 1968 AND THE COPYRIGHT AMENDMENT (MORAL RIGHTS) BILL 1999 AND ARE NOT TO BE USED OR REPRODUCED WITHOUT THE WRITTEN CONSENT OF THE PROPRIETOR.			PROJECT				DRAWING TITLE		
					PROPOSED NEW HOUSE				COLOUR AND FINISHES SCHEDULE		
					53 MCCROSSIN AVENUE, BIRRONG NSW 2143						
					FOR MCKENZIE		DRAWN BY BP		SCALE 1 : 50 @ A3	DRAWING NO. CD29	REV D
					PROJECT NO 23027		DESIGN CUSTOM				
					REV DATE DESCRIPTION						
					A 30/01/2024 CONSTRUCTION DRAWINGS ISSUE						
					C 15/03/2024 ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24						
					D 21/05/2024 CHANGES						



FLOOD AFFECTED

CONSTRUCTION DRAWINGS

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					PROPOSED NEW HOUSE				FRONT STREETSCAPE - No.53					
					53 MCCROSSIN AVENUE, BIRRONG NSW 2143									
					FOR MCKENZIE		DRAWN BY BP		SCALE		DRAWING NO.		REV	
					PROJECT NO 23027		DESIGN CUSTOM		1 : 100 @ A3		CD30		D	
					REV		DATE		DESCRIPTION					
					A		30/01/2024		CONSTRUCTION DRAWINGS ISSUE					
					C		15/03/2024		ADJUSTMENTS AS PER REQUEST DATED 21/02/24 & 11/03/24					
					D		21/05/2024		CHANGES					



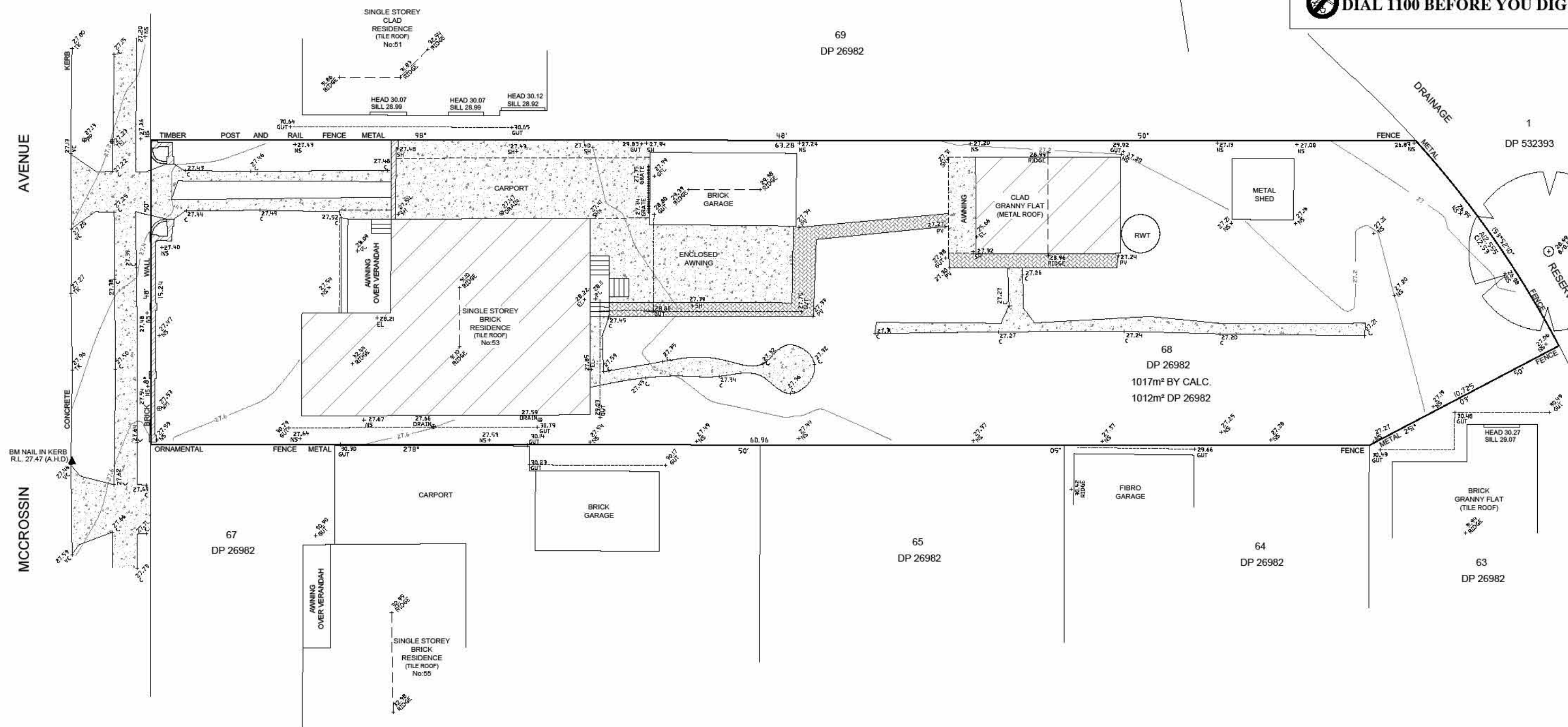
## LEGEND

AHD AUSTRALIAN HEIGHT DATUM  
RL REDUCED LEVEL  
BM BENCH MARK  
C EDGE OF CONCRETE  
PL PATIO LEVEL  
VL VERANDAH LEVEL  
EL ENTRY LEVEL  
GFL GARAGE FLOOR LEVEL  
GUT TOP OF GUTTER  
40.2 TREE SPREAD / TRUNK DIAMETER  
NS NATURAL SURFACE  
SH SPOT HEIGHT  
TK TOP OF KERB  
VC VEHICLE CROSSING  
WM WATER METER  
PP POWER POLE  
TEL TELSTRA  
CONCRETE HARD AREA  
APPROXIMATE GUTTER LINE  
APPROXIMATE RIDGE LINE

## NOTE:

- \* THE TITLE BOUNDARY DIMENSIONS AND AREAS SHOWN HEREON ARE DETERMINED BY TITLE DEED ONLY AND ARE SUBJECT TO FINAL SURVEY
- \* ADJOINING BUILDINGS, RIDGES AND GUTTER POSITIONS ARE APPROXIMATE ONLY
- \* ONLY VISIBLE SERVICES WERE LOCATED AT TIME OF SURVEY. IT IS RECOMMENDED THAT ALL RELEVANT AUTHORITIES BE NOTIFIED PRIOR TO ANY WORKS BEING COMMENCED ON SITE. WE STRONGLY SUGGEST THAT YOU DIAL 1100 BEFORE YOU DIG
- \* TREE SPREAD AND TRUNK DIAMETERS SHOWN IN THIS PLAN ARE INDICATIVE ONLY
- \* CONTOURS HAVE BEEN INTERPOLATED FROM SPOT HEIGHTS TAKEN AND ARE INDICATIVE ONLY
- \* DO NOT SCALE OF THIS PLAN WHERE CLEARANCES ARE CRITICAL. THEY SHOULD BE CONFIRMED BY A FURTHER BOUNDARY SURVEY
- \* COPYRIGHT OF THIS MATERIAL SHOWN HEREON AND IN THE ACCOMPANYING CAD FILES BELONGS TO NEW WAY SURVEYING PTY. LTD. NO ALTERATIONS ARE TO BE MADE TO THE DATA WITHOUT THE WRITTEN CONSENT OF NEW WAY SURVEYING PTY. LTD. IF THESE CONDITIONS HAVE BEEN BREACHED NEW WAY SURVEYING PTY. LTD. REMOVES ALL RESPONSIBILITIES
- \* THIS NOTE IS AN INTEGRAL PART OF THIS PLAN


 **DIAL 1100 BEFORE YOU DIG**



## NEW WAY SURVEYING

### LAND, ENGINEERING & CONSTRUCTION SURVEYORS

UNIT 1, 147 KEMBLA STREET, WOLLONGONG, NSW, 2500  
MOB:0430 051242 FAX:(02) 42 448393  
EMAIL:admin@newwaysurveying.com.au  
INTERNET: www.newwaysurveying.com.au

SCALE BAR 

DATUM A.H.D.

ORIGIN OF LEVELS PM 9722  
AND SOURCE SCIMS (08/05/2024)

CONTOUR INTERVAL 0.2m

SCALE REDUCED TO A3 - NTS

SUBURB BIRROING

L.G.A. CANTERBURY-BANKSTOWN

SHEET NO. 1 OF 1 SHEETS

DRAWN AP

SURVEYED AP

CHECKED DR

DATE: 11/05/2024

CLIENT GREEN HOMES AUSTRALIA

DESCRIPTION

DETAIL AND CONTOUR PLAN OVER LOT 68 IN DP 26982  
LOCATED AT No.53 MCCROSSIN AVENUE, BIRROING

ISSUE NO: A

SURVEYORS REFERENCE 24195

NEW WAY SURVEYING  
**NWS**